

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
OCTOBER 27, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the October 13, 2020 Planning and Zoning Commission meeting.

(3) **P2020-039 (DAVID GONZALES)**

Consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochellee Road, and take any action necessary.

(4) **P2020-040 (DAVID GONZALES)**

Consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, generally located on the northside of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

(5) **P2020-043 (DAVID GONZALES)**

Consider a request by Tony Degelia of A & W Surveyors, Inc. on behalf of Siren Brewing Company, LLC for the approval of a Replat for Lot 2 of the Cain Properties No. 1 Addition being a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and take any action necessary.

(6) **P2020-045 (HENRY LEE)**

Consider a request by John F. Dudek for the approval of a Replat for Lot 57 of Chandler's Landing, Phase 2 being a 0.248-acre tract of land identified as Lots 35 & 36 of Chandler's Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 428 Columbia Drive, and take any action necessary.

(7) **SP2020-026 (DAVID GONZALES)**

Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of an Amended Site Plan for a daycare center on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any action necessary.

(8) **SP2020-029 (RYAN MILLER)**

Discuss and consider a request by Meg Murphy of Triton General Contractors on behalf of Jason Potts for the approval of an Amended Site Plan to convert an existing restaurant into an office building on a 1.346-acre tract of land identified as Lot 16, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated with the IH-30 Overlay (IH-30 OV) District, addressed as 560 E. IH-30, and take any action necessary.

(V) ACTION ITEMS

(9) MIS2020-013 (HENRY LEE)

Discuss and consider a request by James Best for the approval of a Special Exception to the material standards for residential fences to allow the construction of a masonry screening wall on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

(10) MIS2020-014 (RYAN MILLER)

Discuss and consider a request by Sandie Wood for the approval of a Special Exception to the material standards for residential fences to allow a previously constructed chain-link fence on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Wade Drive, and take any action necessary.

(VI) DISCUSSION ITEMS

(11) Z2020-043 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

(12) Z2020-044 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

(13) Z2020-045 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

(14) Z2020-046 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

(15) Z2020-047 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(16) P2020-044 (DAVID GONZALES)

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

(17) P2020-046 (DAVID GONZALES)

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-

acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

(18) **SP2020-027 (HENRY LEE)**

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

(19) **SP2020-028 (DAVID GONZALES)**

Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

(20) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-036: Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition **(APPROVED)**
- P2020-037: Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition **(APPROVED)**
- Z2020-039: Text Amendment to Article 05, District Development Standards, of the UDC **(APPROVED; 1st READING)**
- Z2020-040: Text Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan **(APPROVED; 1st READING)**
- MIS2020-011: Special Request for 247 Chris Drive **(APPROVED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 23, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS

OCTOBER 27, 2020 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) ACTION ITEMS

(1) **SP2020-026 (DAVID GONZALES)**

Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of an Amended Site Plan for a daycare center on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any action necessary.

(2) **SP2020-027 (HENRY LEE)**

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

(3) **SP2020-028 (DAVID GONZALES)**

Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

(4) **SP2020-029 (RYAN MILLER)**

Discuss and consider a request by Meg Murphy of Triton General Contractors on behalf of Jason Potts for the approval of an Amended Site Plan to convert an existing restaurant into an office building on a 1.346-acre tract of land identified as Lot 16, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated with the IH-30 Overlay (IH-30 OV) District, addressed as 560 E. IH-30, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 23, 2020 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
OCTOBER 13, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric
5 Thomas, Jean Conway, Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan
6 Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City
7 Engineer Amy Williams and Civil Engineers Sarah Johnston and Jeremy White.

8
9 II. OPEN FORUM
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There
12 being no one coming forward, Chairman Chodun closed the open forum.

13
14 III. CONSENT AGENDA
15

16 1. Approval of Minutes for the September 29, 2020 Planning and Zoning Commission meeting.
17

18 2. **P2020-036 (DAVID GONZALES)**

19 Discuss and consider a request by T. Zachary Grimes of Cross Engineering Consultants, Inc. on behalf of Russell Phillips of Harbor LakePointe
20 Investors, LLC for the approval of a Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition being a 7.538-acre tract of land identified as Lots
21 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and all of Lots 3 & 4, Block 18, Moton Addition, City of Rockwall,
22 Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill
23 Way, and take any action necessary.
24

25 3. **P2020-037 (DAVID GONZALES)**

26 Discuss and consider a request by Bart Carroll, RPCS of Carroll Consulting Group on behalf of Kurt Avery for the approval of a Preliminary Plat
27 for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition being a 48.583-acre tract of land identified as Tracts 5 & 5-1 of the J. Strickland
28 Survey, Abstract No. 187, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at
29 the terminus of Farm Lane east of Anna Cade Road, and take any action necessary.
30

31 4. **P2020-039 (DAVID GONZALES)**

32 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes,
33 LLC for the approval of a Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision consisting of 428 single-family
34 residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco
35 Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR)
36 District and Single-Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and
37 take any action necessary.
38

39 5. **P2020-040 (DAVID GONZALES)**

40 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes,
41 LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a
42 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County,
43 Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the northside of SH-276 east
44 of the intersection of SH-276 and Rochelle Road, and take any action necessary.
45

46 Chairman Eric Chodun made a motion to approve all items on the consent agenda except for items #4 and #5. Commissioner Sedric
47 Thomas seconded the motion which passed by a vote of 7-0.
48

49 IV. PUBLIC HEARING ITEMS
50

51 6. **Z2020-039 (RYAN MILLER)**

52 Hold a public hearing to discuss and consider approval of a Text Amendment to Article 05, District Development Standards, of the Unified
53 Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the accessory structure standards, and take any action
54 necessary.
55

56 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He briefed the Commission on the
57 work session held on September 8, 2020 and how City Council wanted changes and specifications to help clarify the District
58 Development Standards. The new text amendment makes several clarifying points about detached garages as well as providing a
59 definition for a standard sized motor vehicle. Since the work session, Staff has worked with the Building Permit technicians to see
60 what other issues they were coming across and, based on that, staff broke out the carports, pergolas, and covered porches which had
61 been in one section together before. Each was broken down to their own individual section where Staff added language clarifying
62 those. Mr. Miller explained that there was also a 1 page handout that was created that was intended to convey those standards in a
63 picture form as provided in the packet Commissioners received. Staff also sent out a 15-day notice as required by the Unified
64 Development Code (UDC). Mr. Miller then advised the Commission that he was available to answer questions.

65
66 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no
67 one indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or
68 action.
69

70 Vice-Chairman Welch made a motion to approve item Z2020-039 with staff recommendations. Commissioner Moeller seconded the
71 motion which passed by a vote of 7-0.
72

73 7. **Z2020-040 (RYAN MILLER)**

74 Hold a public hearing to discuss and consider approval of a Text Amendment to the Master Thoroughfare Plan contained in the OURHometown
75 Vision 2040 Comprehensive Plan for the purpose of changing the alignment and designation of Pecan Valley Drive, and take any action
76 necessary.
77

78 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. He explained that the City was deeded
79 an 11.7 acre tract of land at the corner of Pecan Valley and Quail Run Road. Currently, Pecan Valley is shown as a minor collector
80 connecting to Random Oaks and running through this property. Random Oaks runs from Pecan Valley and W. Quail Run Road all the
81 way up to Bending Oaks Trail. Mr. Miller explained that a resident came forward and requested that the City try to provide several of the
82 homes along W. Quail Run with sanitary sewer. Staff found that those homes are currently on septic and the City had recently extended
83 the lines along the southern part adjacent to Pecan Valley. The ideal would be to cut out two (2) individual lots and put them for sale thru
84 the bid process with that money potentially paying for the sanitary sewer improvements for those five (5) homes. Staff did notice that
85 this road created an issue with trying to establish those two (2) lots specifically. If Staff accounted for the right-of-way for that road then
86 it would push one of the lots into the floodplain area. When reexamining the area, Staff also reexamined the land uses considering that
87 the 11-acres was city land and was not anticipated to be developed with the same commercial uses as is currently allowed thru the
88 zoning. It was then determined that the minor collector was no longer needed to connect with Random Oaks. This prompted Staff to
89 bring the issue before the Planning and Zoning Commission and the City Council. Staff was required to bring this item forward as an
90 amendment to the Comprehensive Plan which would then require a public hearing with the Commission and at City Council. This item
91 was also advertised in a 15-day notice in the Rockwall Herald Banner in accordance with the City's charter. Mr. Miller then advised the
92 Commission that he was available to answer questions.
93

94 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one
95 doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.
96

97 Commissioner Thomas made a motion to approve item Z2020-040. Commissioner Moeller seconded the motion which passed by a vote
98 of 7-0.
99

100 V. ACTION ITEMS
101

102 8. **MIS2020-011 (HENRY LEE)**

103 Discuss and consider a request by J. W. Jones for the approval of a Miscellaneous Case for a special request in accordance with the
104 requirements of Planning Development District 75 (PD-75) [Ordinance No. 16-01] for a 0.33-acre parcel of land identified as a portion of Lot
105 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75
106 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.
107

108 Planner Henry Lee provided a brief summary in regards to the request. He explained that the subject property is located at 247 Chris
109 Drive and most of the surrounding lots have mobile homes or single-family homes. The applicant had been approved for a Specific Use
110 Permit (SUP) for a Residential Infill and when work had begun they encountered a public sewer line not within the easement near the
111 east side of the property line. Therefore, the applicant is requesting an encroachment on the front yard building setback with a minimum
112 of 1-foot 6-inches which would reduce the front yard setback to 18-feet 6-inches. However, Staff believes a minimum of 3 feet should be
113 requested to ensure that the home is far enough away for any future services the City may need to do. This means applicants need to
114 request a 17-foot front yard setback which would approve the rear of the home would be 6-feet 6-inches away. When reviewing this
115 request, it does not appear to create a hardship or the applicant and approving the request would not change the essential character of
116 the neighborhood. A condition of approval would be that the subject property would need to be replatted to adjust the utility easement to
117 ensure that the existing sewer line is located within the 10-foot easement.
118

119 Commissioner Womble asked if the property below is closer to the street then the current post would be.
120

121 Commissioner Moeller added that Lake Rockwall Estates was a unique area and added that this would be one of many issues they would
122 encounter as its being developed.
123

124 Commissioner Deckard asked if the property to the south was a mobile home as well.
125

126 Commissioner Thomas made a motion to approve item MIS2020-011 with staff recommendations. Commissioner Moeller seconded the
127 motion which passed by a vote of 7-0.
128

129 VI. DISCUSSION ITEMS
130

131 9. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- ✓ P2020-035: Replat for Lot 3, Block A, Woods at Rockwall Addition [APPROVED]
- ✓ P2020-038: Replat for Lots 10 & 11, Block A, Stone Creek Retail Addition [APPROVED]
- ✓ P2020-041: Final Plat for Lot 1, Block A, Bacon Addition [APPROVED]
- ✓ P2020-035: Final Plat for Lots 1 & 2, Block A, K. U. Ranch and Rec Addition [APPROVED]
- ✓ Z2020-033: SUP for a Residential Infill in an Established Subdivision for 210 Wade Drive [APPROVED; 2ND READING]
- ✓ Z2020-037: SUP for a Restaurant, Less Than 2,000 SF, with Drive-Through for 150 Pecan Valley Drive [DENIED]
- ✓ Z2020-038: SUP for a Residential Infill in an Established Subdivision for 257 & 269 Russell Drive [APPROVED; 2ND READING]
- ✓ MIS2020-012: Special Request for 840 & 848 Lakeside Drive [APPROVED]

141 **Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council**
142 **meeting.**

143
144
145 VII. ADJOURNMENT

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147 **Chairman Chodun adjourned the meeting at 6:16 PM.**

148
149 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
150 _____, 2020.

151
152
153 _____
154 Eric Chodun, Chairman

155 Attest:

156 _____
157 Angelica Gamez, Planning and Zoning Coordinator
158



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 27, 2020

APPLICANT: Cameron Slown, PE; *Teague, Nall & Perkins, Inc.*

CASE NUMBER: P2020-039; *Master Plat for Discovery Lakes Subdivision*

SUMMARY

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting approval of a *Master Plat/Open Space Master Plan* for the Discovery Lakes Subdivision. The Discovery Lakes Subdivision is a nine (9) phase, master planned community that will consist of 428 single-family residential lots on a 307.18-acre tract of land. The proposed *Master Plat* delineates the timing and phasing for the proposed development in order to determine compliance with the OURHometown Vision 2040 Comprehensive Plan, and the availability and capacity of the public improvements needed to serve the development. The *Master Plat* also indicates the location of the 9.129-acre tract of land zoned for General Retail (GR) District land uses, which will allow for neighborhood service type land uses. Additionally, the applicant is requesting approval of an *Open Space Master Plan*, which indicates 102.9-acres (*i.e.* 33.5%) of open space for the development and a ~2.6-mile walking trail for the community. A summary of the proposed lot composition is as follows:

LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%

Maximum Permitted Units: 428 100.00%

- The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20*. On July 5, 2005, the City Council approved *Ordinance No. 05-29 [Case No. Z2005-021]* changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District. On August 17, 2015, the zoning designation of the subject property was again changed by *Ordinance No. 15-24 [Case No. Z2015-016]* from a Light Industrial (LI) District to Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. On August 3, 2020, the City Council approved an amendment to Planned Development District 78 (PD-78) through *Ordinance No. 20-27 [Case No. Z2020-024]* allowing for the reduction in the number of single-family residential lots from 507 to 428 (*i.e.* a decrease of the Type 'A' Lots by 76 and Type 'C' Lots by 53, and an increase in the Type 'B' Lots by 50), which represented a reduction in the overall density from 1.65 dwelling units per acre to 1.40 dwelling units per acre. This zoning change also changed the Type 'A' Lots from a minimum of 9,600 SF to 32,670 SF.

- ☑ On October 6, 2020, the Parks and Recreation Board approved pro-rata fees of \$155,364.00 (*i.e.* 428 lots @ \$363.00 per lot) and cash-in-lieu of land fees of \$163,924.00 (*i.e.* 428 lots @ \$383.00 per lot) for the Discovery Lakes Addition by a vote of 6-0, with Board Member Denny absent.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for master plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Master Plat/Open Space Master Plan for the *Discovery Lakes Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹ (100+307.18*15=\$4707.70)
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	none	Lot	Block
General Location	307 Acre Tract near the NE corner of the intersection of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None	
Proposed Zoning	PD-78	Proposed Use	Single Family Residential	
Acreage	307.18	Lots [Current]	1	Lots [Proposed]
				428

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.	
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown	
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300	
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013	
Phone	972-960-9941	Phone	817-889-5050	
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com	

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

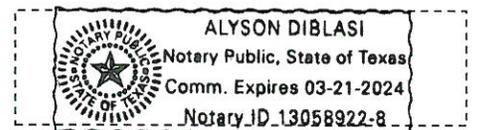
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$4,707.70, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20

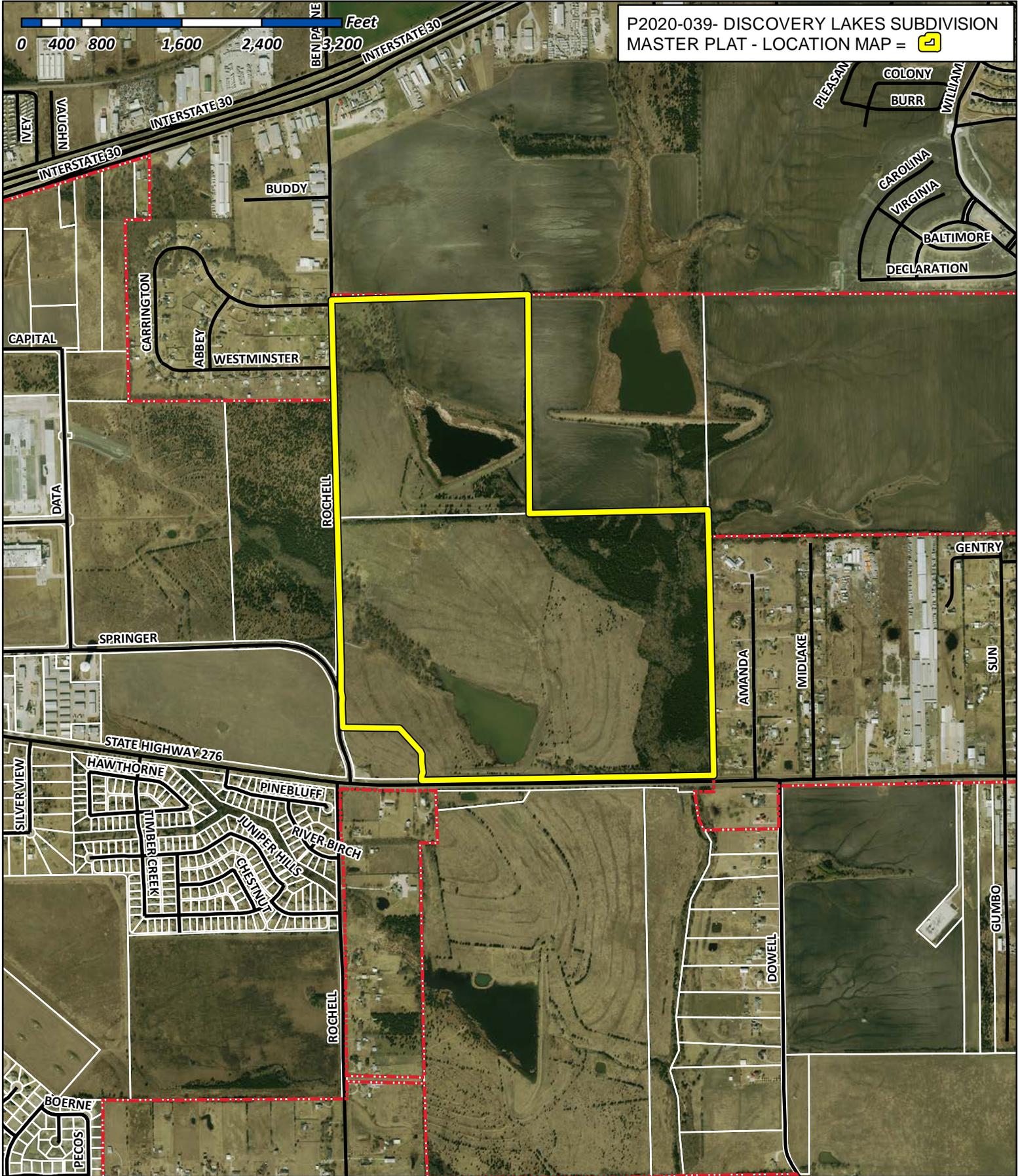
Owner's Signature

Nick DiGiuseppe
Alyson DiBlasi

Notary Public in and for the State of Texas



My Commission Expires 03-21-2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





COMPLIANCE WITH PD ORDINANCE 20-27		
PD REQUIREMENT	PROVIDED BY MASTER PLAN	
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

- NOTES:
- DRAINAGE FACILITIES: STORM SEWER SYSTEM WILL BE INSTALLED UNDERNEATH THE ROADWAYS ON THE PROPERTY FOR EACH PHASE. DETENTION WILL BE PROVIDED FOR ENTIRE SITE, IF NEEDED.
 - SANITARY SEWER FACILITIES: TEMPORARY ON-SITE SANITARY SEWER SYSTEMS WILL BE INSTALLED FOR TYPE A LOTS CONTAINING A MINIMUM OF 32,670 SQUARE FEET PER PD ORDINANCE 20-27. SANITARY SEWER MAIN LINES AND SERVICES TO EACH LOT WILL BE INSTALLED WITH EACH PHASE OF DEVELOPMENT AND WILL BE CONNECTED IN THE FUTURE TO THE PROPOSED BRUSHY CREEK LIFT STATION. SANITARY SEWER LINE THROUGH THE PROPERTY WILL BE A MINIMUM PIPE SIZE OF 8", 18" AND 10" GRAVITY TRUNK SANITARY SEWER LINES WILL BE INSTALLED ON THE PROPERTY PER THE CITY'S WASTEWATER MASTER PLAN.
 - WATER FACILITIES: THERE ARE NO EXISTING WATER LINES IMMEDIATELY ADJACENT TO THE PROPERTY. A 16" WATER LINE WILL BE INSTALLED ALONG STATE HIGHWAY NO. 276 IN PHASE 1 TO PROVIDE WATER FOR THE PROPERTY. PHASE 1 WILL INCLUDE AN 8" LOOPED WATER LINE ON SITE. PHASES 3-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG ROCHELLE ROAD PER THE CITY'S WATER MASTER PLAN. PHASES 4-9 WILL INCLUDE INSTALLATION OF A 12" WATER LINE ALONG DISCOVERY BOULEVARD PER THE CITY'S WATER MASTER PLAN.
 - ROADWAY FACILITIES: THE SOUTH SIDE OF THE PROPERTY IS BOUNDED BY STATE HIGHWAY NO. 276 AND THE WEST SIDE IS BOUNDED BY SPRINGER LANE AND ROCHELLE ROAD.
 - BETWEEN CONSTRUCTION OF PHASES TEMPORARY TURNAROUNDS WILL BE PROVIDED AS NEEDED TO SATISFY FIRE PROTECTION REQUIREMENTS.
 - ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBER 4839700045L DATED SEPTEMBER 26, 2008 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THIS PROPERTY INCLUDES ZONES A, AE, AND X.
 - PROPERTY IS ZONED AS PLANNED DEVELOPMENT DISTRICT 78 (PD-78) ORDINANCE NUMBER 20-27.

PHASE #	AREA (AC.)	PROPOSED PHASING TABLE				TOTAL UNITS
		TYPE A	TYPE B	TYPE C	COMMUNITY CENTER	
		MIN. 0.75 AC.	MIN. 2,700 S.F.	MIN. 6,600 S.F.		
1	36.42	31				31
2	22.14	14				14
3	71.42	27	11			38
4	21.31	29	52			80
5	8.56	35				35
6	18.12	8	47	1		71
7	13.85	30	13			43
8	33.46	40				40
9	81.9	76	76			152
TOTAL	307.18	40	265	218		428

PHASE #	AREA (AC.)	CAPITAL IMPROVEMENTS TABLE		
		WATER	SEWER	STREETS
1	36.42	36" FROM ROCHELLE RD. TO EASTERN LIMIT OF PH. 1		
2	22.14	36" FROM EASTERN SIDE OF THE CREEK TO EAST PROP. LIMITS	30" SS TRUNK LINE TO SH 276	
3	71.42	32" ALONG ROCHELLE RD. FROM PH. 2 TO ALONG FRONTAGE OF PH. 3	30" AND 36" SS LINE TO PROPOSED PH. 2 LIFT STATION PER MASTER PLAN	ROCHELLE RD. WIDENING ALONG PH. 3 FRONTAGE
4	21.31	32" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 4 & 12" ALONG		WIDEN ROCHELLE RD. ALONG PH. 4 FRONTAGE DISCOVERY BLVD. CONSTRUCTION
5	8.56		30" SS TRUNK LINE	
6	18.12	32" ALONG DISCOVERY BLVD		DISCOVERY BLVD. CONSTRUCTION ALONG PH. 6 FRONTAGE
7	13.85	32" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 7		ROCHELLE RD. WIDENING ALONG PH. 7 FRONTAGE
8	33.46	32" ALONG DISCOVERY BLVD	30" SS TRUNK LINE	DISCOVERY BLVD. CONSTRUCTION ALONG PH. 8 FRONTAGE
9	81.9	32" ALONG ROCHELLE RD. ALONG FRONTAGE OF PH. 9	30" SS TRUNK LINE	ROCHELLE RD. WIDENING ALONG PH. 9 FRONTAGE

LEGEND

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL

MASTER PLAT
428 Residential Lots

Discovery Lakes

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248



league nall & perkins
825 Waters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBE Registration No. F-230
www.lnpinc.com

PROJECT INFORMATION
Project No.: SB020370
Date: October 6, 2020
Drawn By: TS
Scale: 1"=200'

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

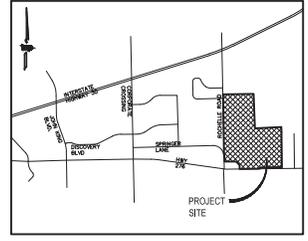
ROCKWALL FUND I, L.L.C.
CALLED 21,933 ACRES
TRACT 1
VOL. 1110, PG. 190 O.P.R.G.C.T.

DR. HORTON TEXAS, LTD.
CALLED 298,042 ACRES
TRACT 1
INST. NO. 201800000497
O.P.R.G.C.T.

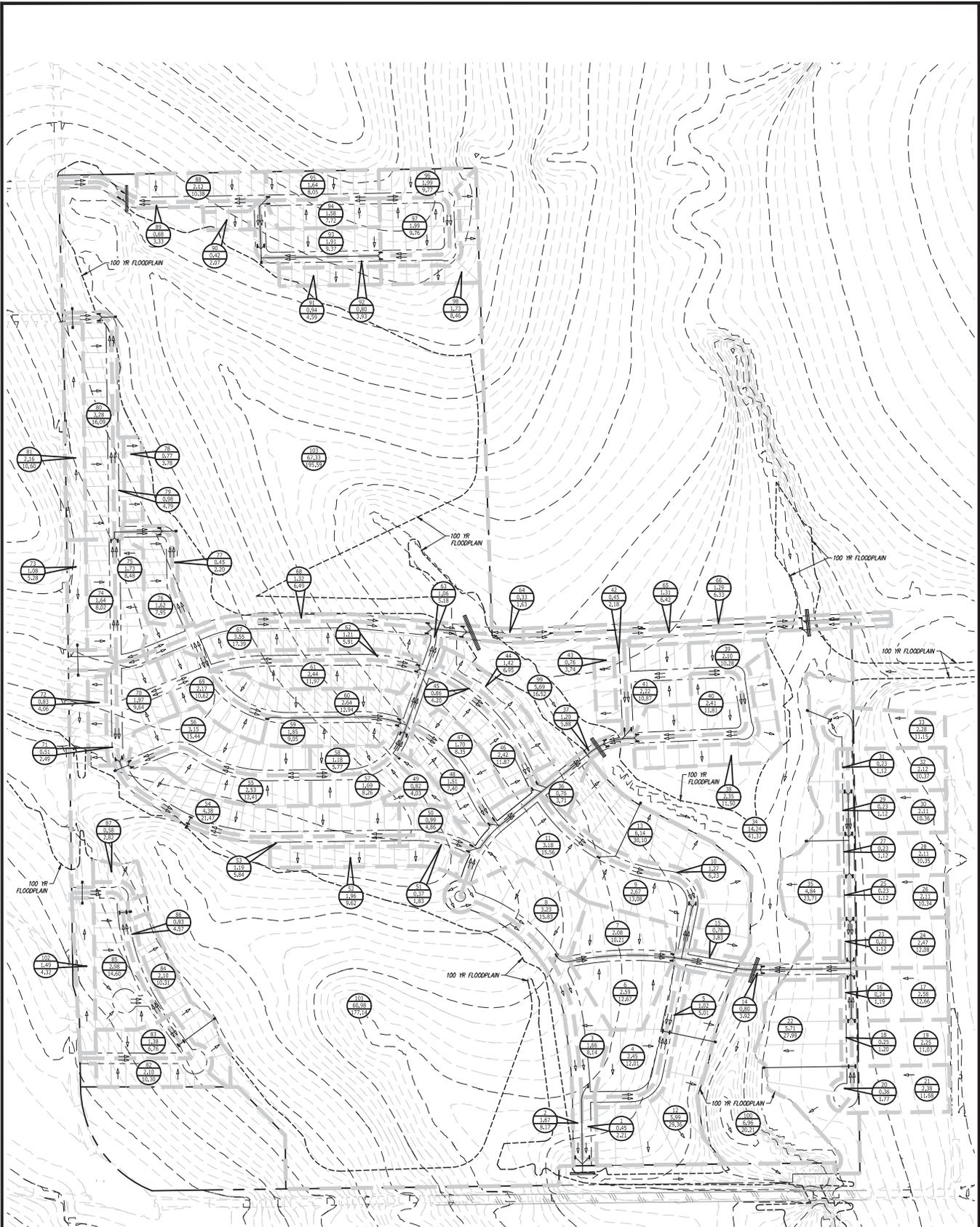


LEGEND

- 1 OPEN SPACE NUMBER
- TYPE A LOT - MIN. 80' X 200' (45 LOTS)
- TYPE B LOT - MIN. 70' X 110' (165 LOTS)
- TYPE C LOT - MIN. 60' X 110' (218 LOTS)
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER
- COMMUNITY CENTER
- WALKING TRAIL (42.6 MILES)

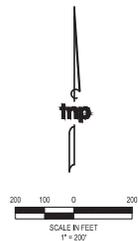


LOT NO.	AREA (SQ. FT.)	AREA (ACRES)	TYPE
1	10,000	0.23	A
2	15,000	0.34	A
3	20,000	0.46	A
4	25,000	0.57	A
5	30,000	0.69	A
6	35,000	0.80	A
7	40,000	0.92	A
8	45,000	1.03	A
9	50,000	1.15	A
10	55,000	1.26	A
11	60,000	1.38	A
12	65,000	1.50	A
13	70,000	1.61	A
14	75,000	1.73	A
15	80,000	1.84	A
16	85,000	1.96	A
17	90,000	2.07	A
18	95,000	2.19	A
19	100,000	2.30	A
20	105,000	2.42	A
21	110,000	2.53	A
22	115,000	2.65	A
23	120,000	2.76	A
24	125,000	2.88	A
25	130,000	3.00	A
26	135,000	3.11	A
27	140,000	3.23	A
28	145,000	3.34	A
29	150,000	3.46	A
30	155,000	3.57	A
31	160,000	3.69	A
32	165,000	3.80	A
33	170,000	3.92	A
34	175,000	4.03	A
35	180,000	4.15	A
36	185,000	4.26	A
37	190,000	4.38	A
38	195,000	4.50	A
39	200,000	4.61	A
40	205,000	4.73	A
41	210,000	4.84	A
42	215,000	4.96	A
43	220,000	5.07	A
44	225,000	5.19	A
45	230,000	5.30	A
46	235,000	5.42	A
47	240,000	5.53	A
48	245,000	5.65	A
49	250,000	5.76	A
50	255,000	5.88	A
51	260,000	6.00	A
52	265,000	6.11	A
53	270,000	6.23	A
54	275,000	6.34	A
55	280,000	6.46	A
56	285,000	6.57	A
57	290,000	6.69	A
58	295,000	6.80	A
59	300,000	6.92	A
60	305,000	7.03	A
61	310,000	7.15	A
62	315,000	7.26	A
63	320,000	7.38	A
64	325,000	7.50	A
65	330,000	7.61	A
66	335,000	7.73	A
67	340,000	7.84	A
68	345,000	7.96	A
69	350,000	8.07	A
70	355,000	8.19	A
71	360,000	8.30	A
72	365,000	8.42	A
73	370,000	8.53	A
74	375,000	8.65	A
75	380,000	8.76	A
76	385,000	8.88	A
77	390,000	9.00	A
78	395,000	9.11	A
79	400,000	9.23	A
80	405,000	9.34	A
81	410,000	9.46	A
82	415,000	9.57	A
83	420,000	9.69	A
84	425,000	9.80	A
85	430,000	9.92	A
86	435,000	10.03	A
87	440,000	10.15	A
88	445,000	10.26	A
89	450,000	10.38	A
90	455,000	10.50	A
91	460,000	10.61	A
92	465,000	10.73	A
93	470,000	10.84	A
94	475,000	10.96	A
95	480,000	11.07	A
96	485,000	11.19	A
97	490,000	11.30	A
98	495,000	11.42	A
99	500,000	11.53	A
100	505,000	11.65	A
101	510,000	11.76	A
102	515,000	11.88	A
103	520,000	12.00	A
104	525,000	12.11	A
105	530,000	12.23	A
106	535,000	12.34	A
107	540,000	12.46	A
108	545,000	12.57	A
109	550,000	12.69	A
110	555,000	12.80	A
111	560,000	12.92	A
112	565,000	13.03	A
113	570,000	13.15	A
114	575,000	13.26	A
115	580,000	13.38	A
116	585,000	13.50	A
117	590,000	13.61	A
118	595,000	13.73	A
119	600,000	13.84	A
120	605,000	13.96	A
121	610,000	14.07	A
122	615,000	14.19	A
123	620,000	14.30	A
124	625,000	14.42	A
125	630,000	14.53	A
126	635,000	14.65	A
127	640,000	14.76	A
128	645,000	14.88	A
129	650,000	15.00	A
130	655,000	15.11	A
131	660,000	15.23	A
132	665,000	15.34	A
133	670,000	15.46	A
134	675,000	15.57	A
135	680,000	15.69	A
136	685,000	15.80	A
137	690,000	15.92	A
138	695,000	16.03	A
139	700,000	16.15	A
140	705,000	16.26	A
141	710,000	16.38	A
142	715,000	16.50	A
143	720,000	16.61	A
144	725,000	16.73	A
145	730,000	16.84	A
146	735,000	16.96	A
147	740,000	17.07	A
148	745,000	17.19	A
149	750,000	17.30	A
150	755,000	17.42	A
151	760,000	17.53	A
152	765,000	17.65	A
153	770,000	17.76	A
154	775,000	17.88	A
155	780,000	18.00	A
156	785,000	18.11	A
157	790,000	18.23	A
158	795,000	18.34	A
159	800,000	18.46	A
160	805,000	18.57	A
161	810,000	18.69	A
162	815,000	18.80	A
163	820,000	18.92	A
164	825,000	19.03	A
165	830,000	19.15	A
166	835,000	19.26	A
167	840,000	19.38	A
168	845,000	19.50	A
169	850,000	19.61	A
170	855,000	19.73	A
171	860,000	19.84	A
172	865,000	19.96	A
173	870,000	20.07	A
174	875,000	20.19	A
175	880,000	20.30	A
176	885,000	20.42	A
177	890,000	20.53	A
178	895,000	20.65	A
179	900,000	20.76	A
180	905,000	20.88	A
181	910,000	21.00	A
182	915,000	21.11	A
183	920,000	21.23	A
184	925,000	21.34	A
185	930,000	21.46	A
186	935,000	21.57	A
187	940,000	21.69	A
188	945,000	21.80	A
189	950,000	21.92	A
190	955,000	22.03	A
191	960,000	22.15	A
192	965,000	22.26	A
193	970,000	22.38	A
194	975,000	22.50	A
195	980,000	22.61	A
196	985,000	22.73	A
197	990,000	22.84	A
198	995,000	22.96	A
199	1,000,000	23.07	A
200	1,005,000	23.19	A
201	1,010,000	23.30	A
202	1,015,000	23.42	A
203	1,020,000	23.53	A
204	1,025,000	23.65	A
205	1,030,000	23.76	A
206	1,035,000	23.88	A
207	1,040,000	24.00	A
208	1,045,000	24.11	A
209	1,050,000	24.23	A
210	1,055,000	24.34	A
211	1,060,000	24.46	A
212	1,065,000	24.57	A
213	1,070,000	24.69	A
214	1,075,000	24.80	A
215	1,080,000	24.92	A
216	1,085,000	25.03	A
217	1,090,000	25.15	A
218	1,095,000	25.26	A
219	1,100,000	25.38	A
220	1,105,000	25.50	A
221	1,110,000	25.61	A
222	1,115,000	25.73	A
223	1,120,000	25.84	A
224	1,125,000	25.96	A
225	1,130,000	26.07	A
226	1,135,000	26.19	A
227	1,140,000	26.30	A
228	1,145,000	26.42	A
229	1,150,000	26.53	A
230	1,155,000	26.65	A
231	1,160,000	26.76	A
232	1,165,000	26.88	A
233	1,170,000	27.00	A
234	1,175,000	27.11	A
235	1,180,000	27.23	A
236	1,185,000	27.34	A
237	1,190,000	27.46	A
238	1,195,000	27.57	A
239	1,200,000	27.69	A
240	1,205,000	27.80	A
241	1,210,000	27.92	A
242	1,215,000	28.03	A
243	1,220,000	28.15	A
244	1,225,000	28.26	A
245	1,230,000	28.38	A
246	1,235,000	28.50	A
247	1,240,000	28.61	A
248	1,245,000	28.73	A
249	1,250,000	28.84	A
250	1,255,000	28.96	A
251	1,260,000	29.07	A
252	1,265,000	29.19	A
253	1,270,000	29.30	A
254	1,275,000	29.42	A
255	1,280,000	29.53	A
256	1,285,000	29.65	A
257	1,290,000	29.76	A
258	1,295,000	29.88	A
259	1,300,000	30.00	A
260	1,305,000	30.11	A
261	1,310,000	30.23	A
262	1,315,000	30.34	A
263	1,320,000	30.46	A
264	1,325,000	30.57	A
265	1,330,000	30.69	A
266	1,335,000	30.80	A
267	1,340,000	30.92	A
268	1,345,000	31.03	A
269	1,350,000	31.15	A
270	1,355,000	31.26	A
271	1,360,000	31.38	A
272	1,365,000	31.50	A
273	1,370,000	31.61	A
274	1,375,000	31.73	A
275	1,380,000	31.84	A
276	1,385,000	31.96	A
277	1,390,000	32.07	A
278	1,395,000	32.19	A
279	1,400,000	32.30	A
280	1,405,000	32.42	A
281	1,410,000	32.53	A
282	1,415,000	32.65	A
283	1,420,000	32.76	A
284	1,425,000	32.88	A
285	1,430,000	33.00	A
286	1,435,000	33.11	A



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS
- PROPOSED DROP INLET
- PROPOSED CURB INLET
- PROPOSED REINFORCED CONCRETE PIPE
- PROPOSED REINFORCED CONCRETE BOX



Master Drainage Plan
428 Residential Lots

Discovery Lakes

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

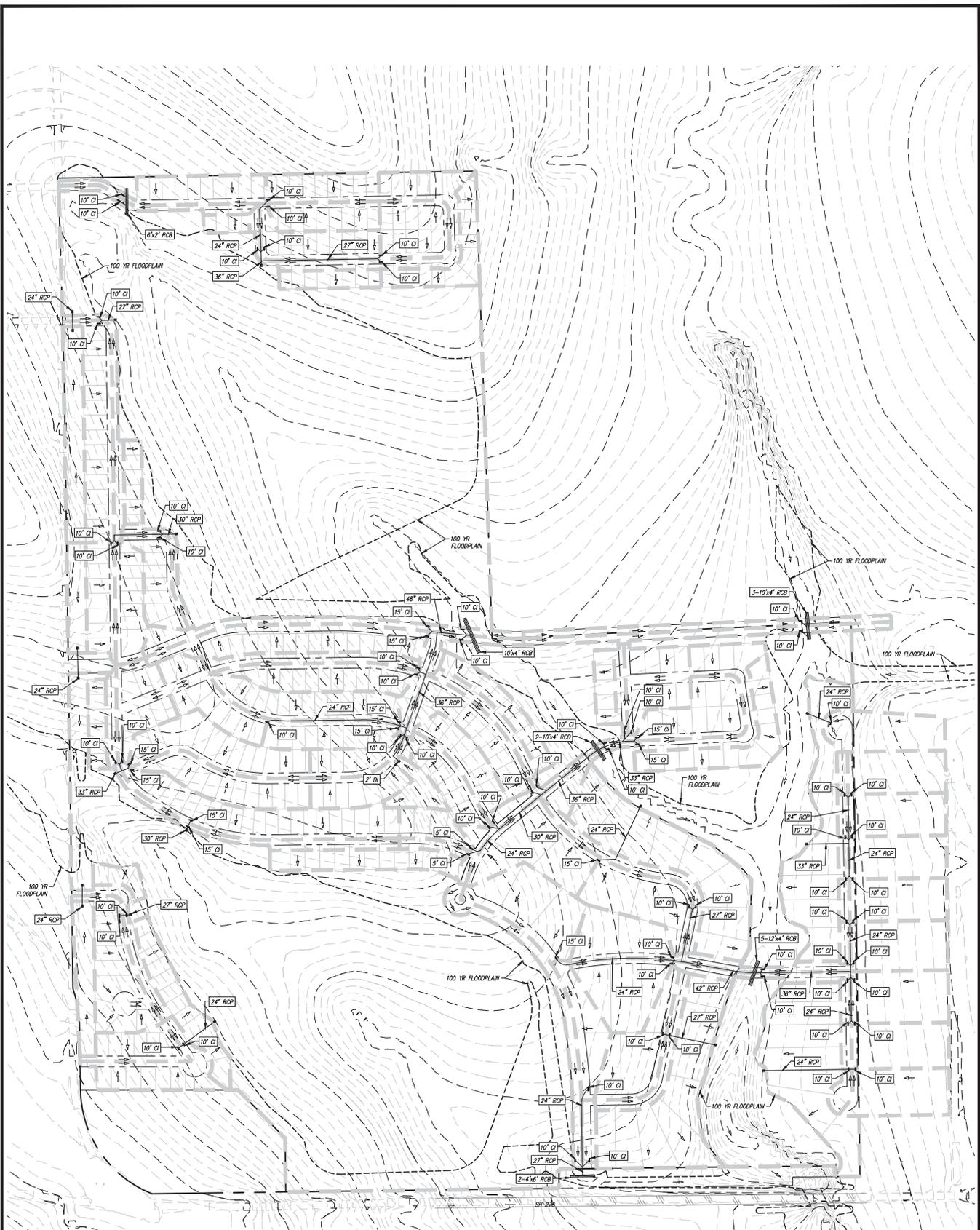
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



teague nall & perkins
823 Walters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBP Registration No. F-230
www.tnpsc.com

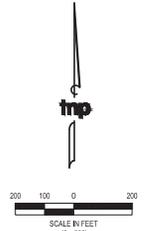
PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: JH
Scale: 1"=200'
SHEET 1 of 3

Drawing: P:\PROJECTS\2020\039\DRAWING\DWG\2020039MASTER DRAINAGE.dwg at 02/16/2020 10:20:44 AM by jh



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
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PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
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Scale: 1"=200'
SHEET 2 of 3

Drawing #: P:\PROJECTS\2020\039\DISCOVERY LAKES\DWG\MASTER PLAN\DISCOVERY LAKES_MASTER PLAN.dwg, 10/6/2020, 10:50am, JH

TERMINAL AREA CALCULATION

Channel	Down	Up								
Flow	Flow	Flow	Flow	Flow	Flow	Flow	Flow	Flow	Flow	Flow
100	100	100	100	100	100	100	100	100	100	100
1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
7	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
8	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
11	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
12	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
13	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
14	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
17	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
22	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
24	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
25	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
26	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
28	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
29	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
31	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
32	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
34	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
36	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
38	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
39	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
41	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
42	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
43	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
45	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
46	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
47	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
48	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
49	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
51	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
52	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
53	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
54	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
55	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
56	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
57	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
58	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
59	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
60	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
61	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
62	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
63	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
64	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
65	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
66	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
67	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
68	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
69	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
71	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
72	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
73	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
74	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
75	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
76	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
77	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
78	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
79	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
80	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
82	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
83	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
84	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
85	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
86	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
87	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
88	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
89	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
91	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
92	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
93	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
94	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
95	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
96	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
97	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
98	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
99	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
100	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Master Drainage Plan
428 Residential Lots

Discovery Lakes

OWNER:
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PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: JH
Scale: 1"=20'
SHEET 3 of 3

Drawn by P:\PROJECTS\2020\039\DWG\MASTER PLAN\DISCOVERY LAKES\MASTER PLAN\DISCOVERY LAKES.dwg at 10:16, 2020-10-06 by jh



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 27, 2020

APPLICANT: Cameron Slown; *Teague, Nall & Perkins, Inc.*

CASE NUMBER: P2020-040; *Preliminary Plat for Phase 1 of the Discover Lakes Addition*

SUMMARY

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's submittal is to *Preliminary Plat* the first phase of the Discovery Lakes Subdivision, which will consist of 31 single-family residential lots on an approximately 36.42-acre tract of land. The Discovery Lakes Subdivision as a whole is a master planned community that will be comprised 428 single-family residential lots on a 307.18-acres tract of land, of which 102.9-acres (*i.e.* 33.5%) will be reserved for open space. This development is to be constructed in nine (9) phases and will consist of three (3) lot types (*outline in the Lot Composition table below*). *Phase 1* will consist of 31, *Type 'A' Lots* that will be a minimum 80' x 200' or 32,670 SF. In addition to the preliminary plat, the applicant has also submitted preliminary drainage, water, sewer, and a treescape plans showing how the development can be adequately served. The following is the proposed lot composition of the Discovery Lakes Subdivision:

LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%

Maximum Permitted Units: 428 100.00%

- The subject property was annexed by the City Council on June 15, 1998 by Ordinance No. 98-20. On July 5, 2005, the City Council approved Ordinance No. 05-29 [*Case No. Z2005-021*] changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District. On August 17, 2015, the zoning designation of the subject property was again changed by Ordinance No. 15-24 [*Case No. Z2015-016*] from a Light Industrial (LI) District to Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. On August 3, 2020, the City Council approved an amendment to Planned Development District 78 (PD-78) through Ordinance No. 20-27 [*Case No. Z2020-024*] allowing for the reduction in the number of single-family residential lots from 507 to 428 (*i.e.* a decrease of the *Type 'A' Lots* by 76 and *Type 'C' Lots* by 53, and an increase in the *Type 'B' Lots* by 50), which represented a reduction in the overall density from 1.65 dwelling units per acre to 1.40 dwelling units per acre. This zoning change also changed the *Type 'A' Lots* from a minimum of 9,600 SF to 32,670 SF.
- On October 6, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed project (*which is located within Park District No. 31*):

- (1) The developer shall pay pro-rata equipment fees of \$11,253.00 (*i.e.* \$363.00 x 31 lots) to be paid at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$11,873.00 (*i.e.* \$383.00 x 31 lots) to be paid at the time of final plat.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Phase 1* of the *Discover Lakes Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* *Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None	
Proposed Zoning	PD-78	Proposed Use	Single Family Residential	
Acreage	36.42	Lots [Current]	1	Lots [Proposed]
				31

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

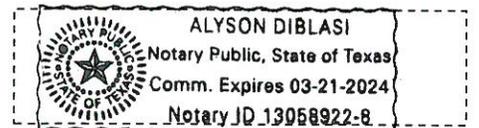
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20.

Owner's Signature

[Signature]
Alyson DiBlasi

Notary Public in and for the State of Texas



My Commission Expires 03-21-2024

0 200 400 800 1,200 1,600 Feet

P2020-040- PHASE 1 OF THE DISCOVERY LAKES ADDITION
PRELIMINARY PLAT - LOCATION MAP = 

CARRINGTON

WESTMINSTER

LI

AG

PD-78

ROCHELL
S. SPRINGER

AMANDA

STATE HIGHWAY 276

PINEBLUFF

SF-10

ROCHELL

PD-66

DOWELL

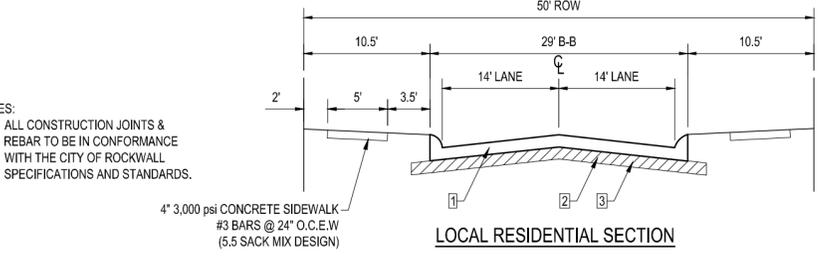
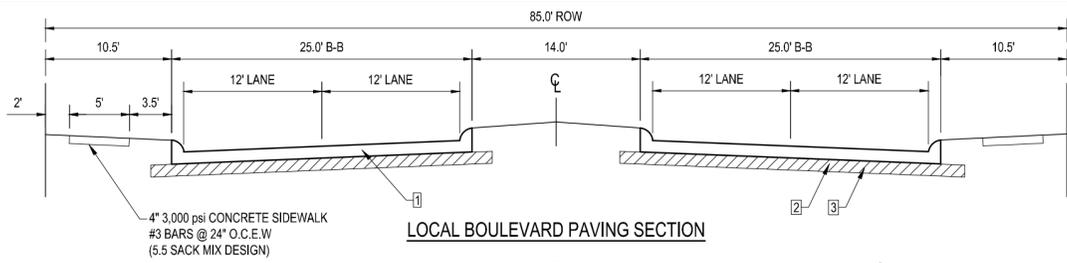


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





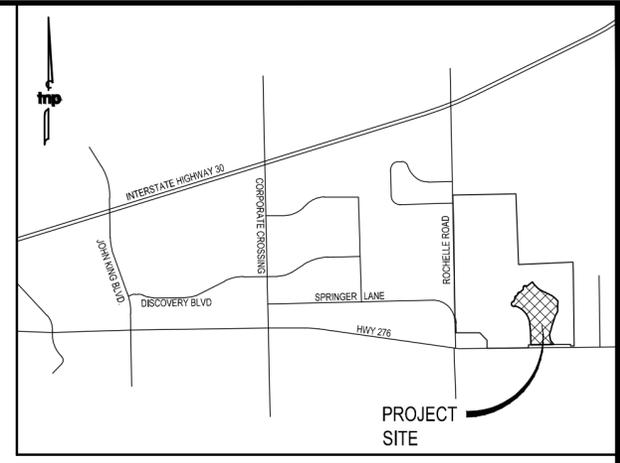
NOTES:
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- ① 6\"/>
- ② WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6\"/>
- ③ SUBGRADE SHALL BE 6\"/>

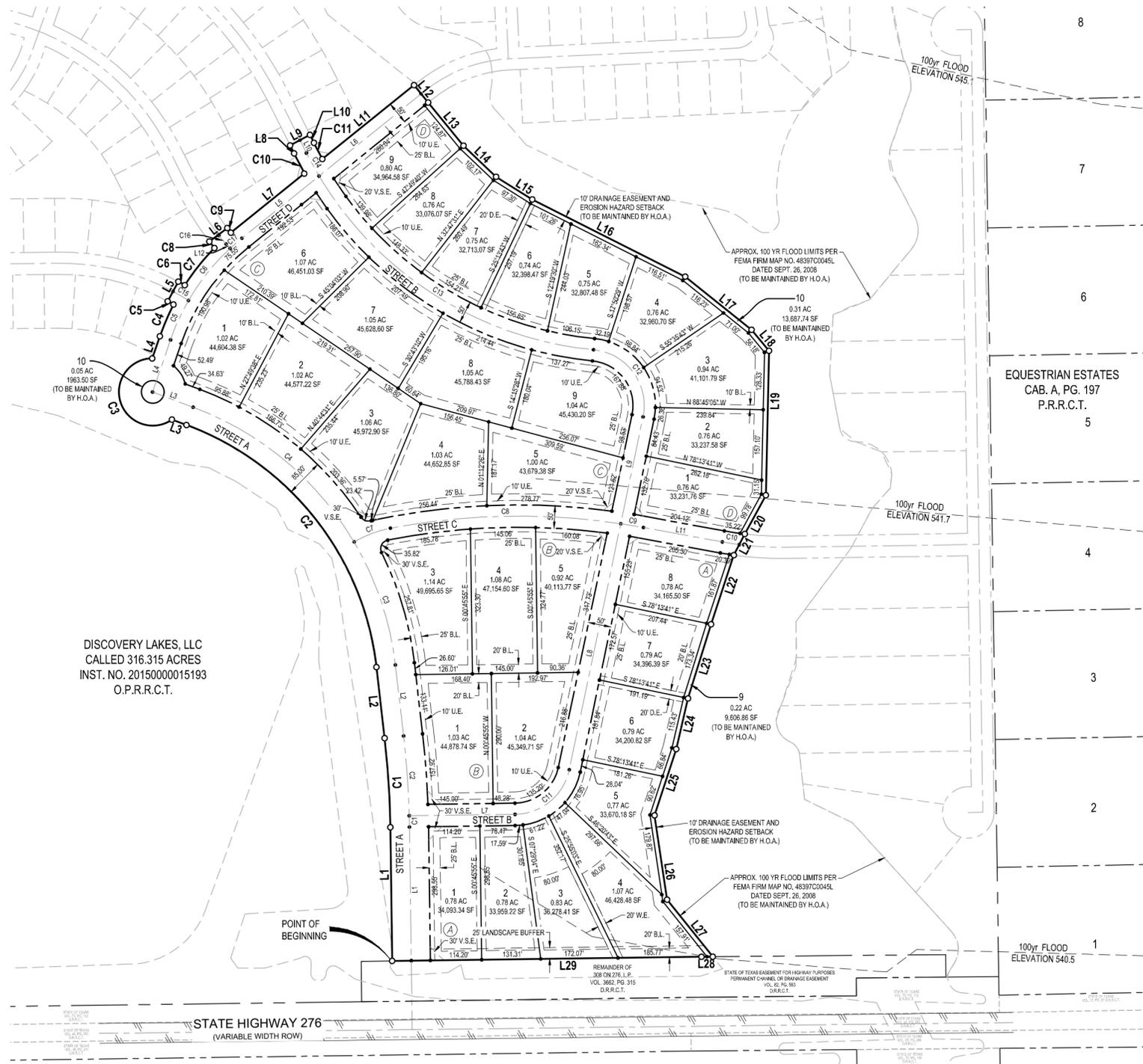
LINE #	BEARING	LENGTH
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L2	N06°34'23\"/>	
L3	N69°28'25\"/>	
L4	N18°53'58\"/>	
L5	N28°21'37\"/>	
L6	N52°57'47\"/>	
L7	N51°02'57\"/>	
L8	N26°30'25\"/>	
L9	N61°45'29\"/>	
L10	S26°30'25\"/>	
L11	N51°02'57\"/>	
L12	S39°13'45\"/>	
L13	S39°13'45\"/>	
L14	S46°12'41\"/>	

LINE #	BEARING	LENGTH
L15	S57°49'57\"/>	
L16	S63°08'31\"/>	
L17	S51°14'19\"/>	
L18	S39°33'27\"/>	
L19	S01°14'55\"/>	
L20	S28°27'00\"/>	
L21	S27°15'07\"/>	
L22	S18°13'31\"/>	
L23	S17°10'03\"/>	
L24	S13°02'35\"/>	
L25	S18°04'38\"/>	
L26	S08°26'04\"/>	
L27	S38°38'00\"/>	
L28	S89°29'06\"/>	

CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1967.50'	5°48'28\"/>			
C2	657.50'	62°54'02\"/>			
C3	75.00'	214°23'01\"/>			
C4	520.84'	8°28'11\"/>			
C5	500.00'	1°41'50\"/>			
C6	550.00'	1°42'58\"/>			
C7	503.20'	12°05'31\"/>			
C8	800.00'	1°18'35\"/>			
C9	750.00'	0°59'45\"/>			
C10	825.00'	2°41'12\"/>			
C11	775.00'	2°03'01\"/>			



VICINITY MAP
N.T.S.



CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2043.92'	0°42'16\"/>			
C2	2002.49'	5°06'38\"/>			
C3	700.00'	23°52'32\"/>			
C4	700.00'	39°01'30\"/>			
C5	500.00'	11°03'56\"/>			
C6	500.00'	17°07'35\"/>			
C7	250.00'	19°54'26\"/>			
C8	1525.00'	19°20'58\"/>			
C9	1525.00'	1°55'29\"/>			
C10	725.00'	3°01'22\"/>			
C11	125.00'	77°27'46\"/>			
C12	125.00'	96°13'37\"/>			
C13	800.00'	53°45'20\"/>			
C14	800.00'	4°11'32\"/>			
C15	525.00'	4°21'38\"/>			
C16	250.00'	5°43'53\"/>			
C17	500.00'	3°57'29\"/>			

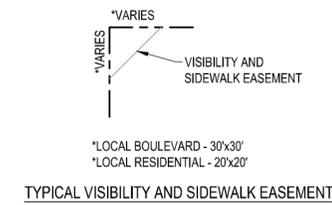
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	A	34093.34	0.78
2	A	33959.22	0.78
3	A	36278.41	0.83
4	A	46428.48	1.07
5	A	33670.18	0.77
6	A	34200.82	0.79
7	A	34396.39	0.79
8	A	34165.50	0.78
9	A	9606.86	0.22

LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	B	44878.74	1.03
2	B	45349.71	1.04
3	B	49845.42	1.14
4	B	47154.60	1.08
5	B	40113.77	0.92

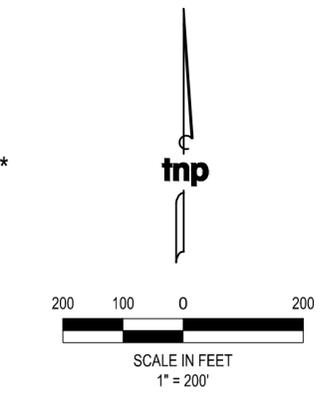
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	C	44604.38	1.02
2	C	44577.22	1.02
3	C	46005.76	1.06
4	C	44652.85	1.03
5	C	43679.38	1.00
6	C	46451.03	1.07
7	C	45628.60	1.05
8	C	45788.43	1.05
9	C	45430.20	1.04
10	C	1936.50	0.05

LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	D	33231.76	0.76
2	D	33237.58	0.76
3	D	41101.79	0.94
4	D	32960.70	0.76
5	D	32807.48	0.75
6	D	32398.47	0.74
7	D	32713.07	0.75
8	D	33076.07	0.76
9	D	34964.58	0.80
10	D	13687.74	0.31

LINE #	LENGTH	BEARING
L1	298.42'	N00°45'55\"/>
L2	159.71'	N06°34'23\"/>
L3	96.43'	N69°28'25\"/>
L4	123.20'	N18°53'58\"/>
L5	220.91'	N28°21'37\"/>
L6	291.98'	N51°02'57\"/>
L7	235.32'	N89°14'05\"/>
L8	561.29'	N11°46'19\"/>
L9	243.60'	N11°46'19\"/>
L10	32.19'	S26°30'25\"/>
L11	178.52'	S79°35'02\"/>
L12	13.20'	S42°54'31\"/>



	COMPLIANCE WITH PD ORDINANCE 20-27	
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%



LEGEND
NTS - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. - INSTRUMENT
CAB. - CABINET
VOL. - VOLUME
NO. - NUMBER
PG. - PAGE
SF - SQUARE FEET
AC - ACRES
* B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
W.E. - WATER EASEMENT
U.E. - UTILITY EASEMENT
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAS

PRELIMINARY PLAT

Discovery Lakes Phase 1

31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

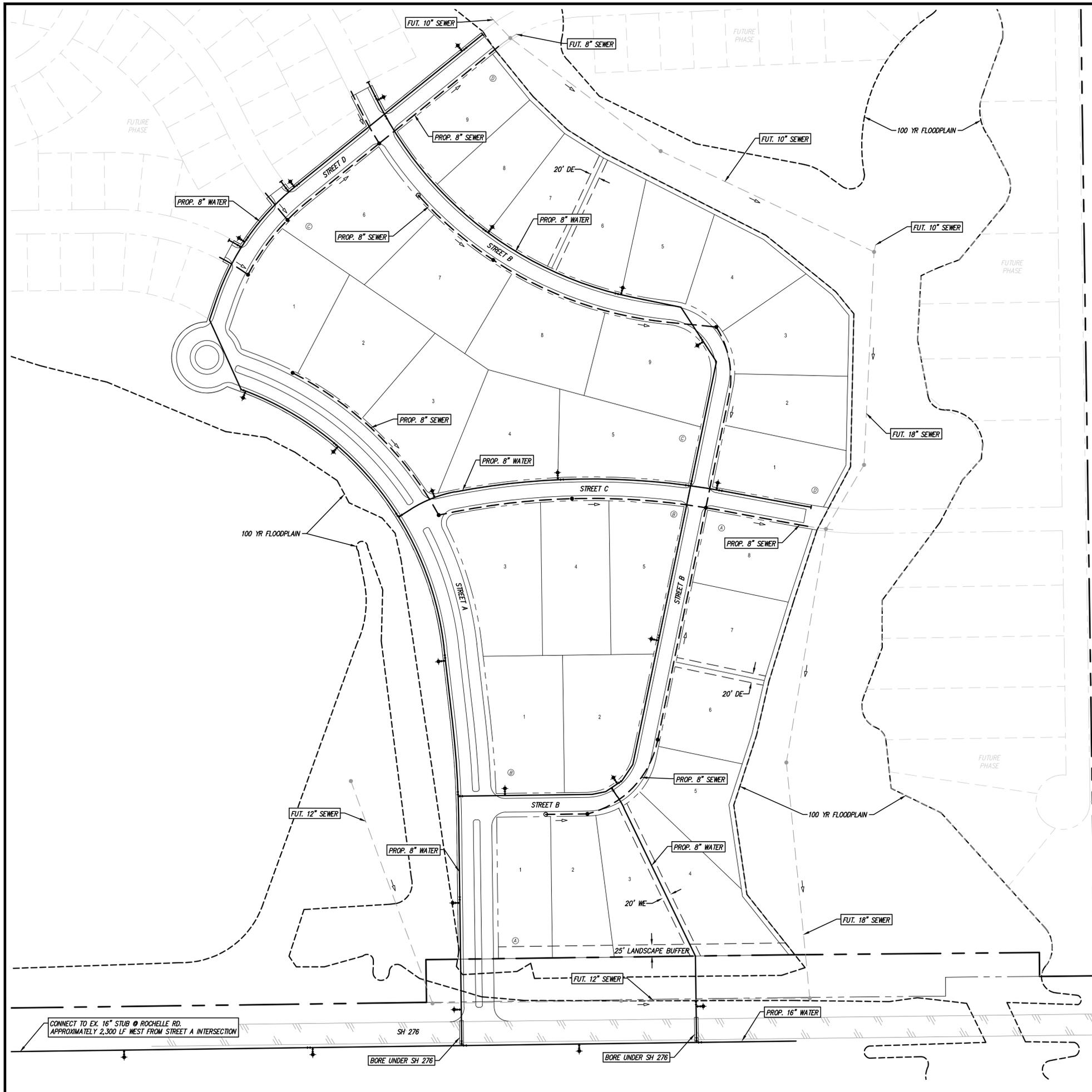
BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

OWNER
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

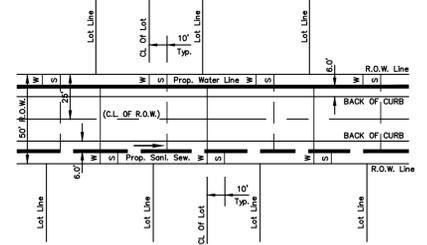
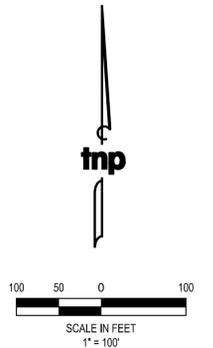
PROJECT INFORMATION
Project No.: SBD20370
Date: October 6, 2020
Drawn By: GS9
Scale: 1\"/>



ENGINEER
TEAGUE NALL AND PERKINS, INC.
825 Waters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673



NOTE: PER PD-78 ALL TYPE A LOTS W/ MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



Preliminary Water & Sewer Plan
31 Residential Lots
Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

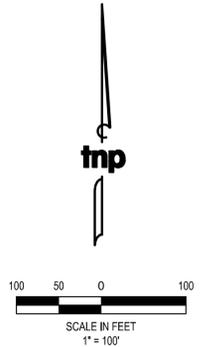
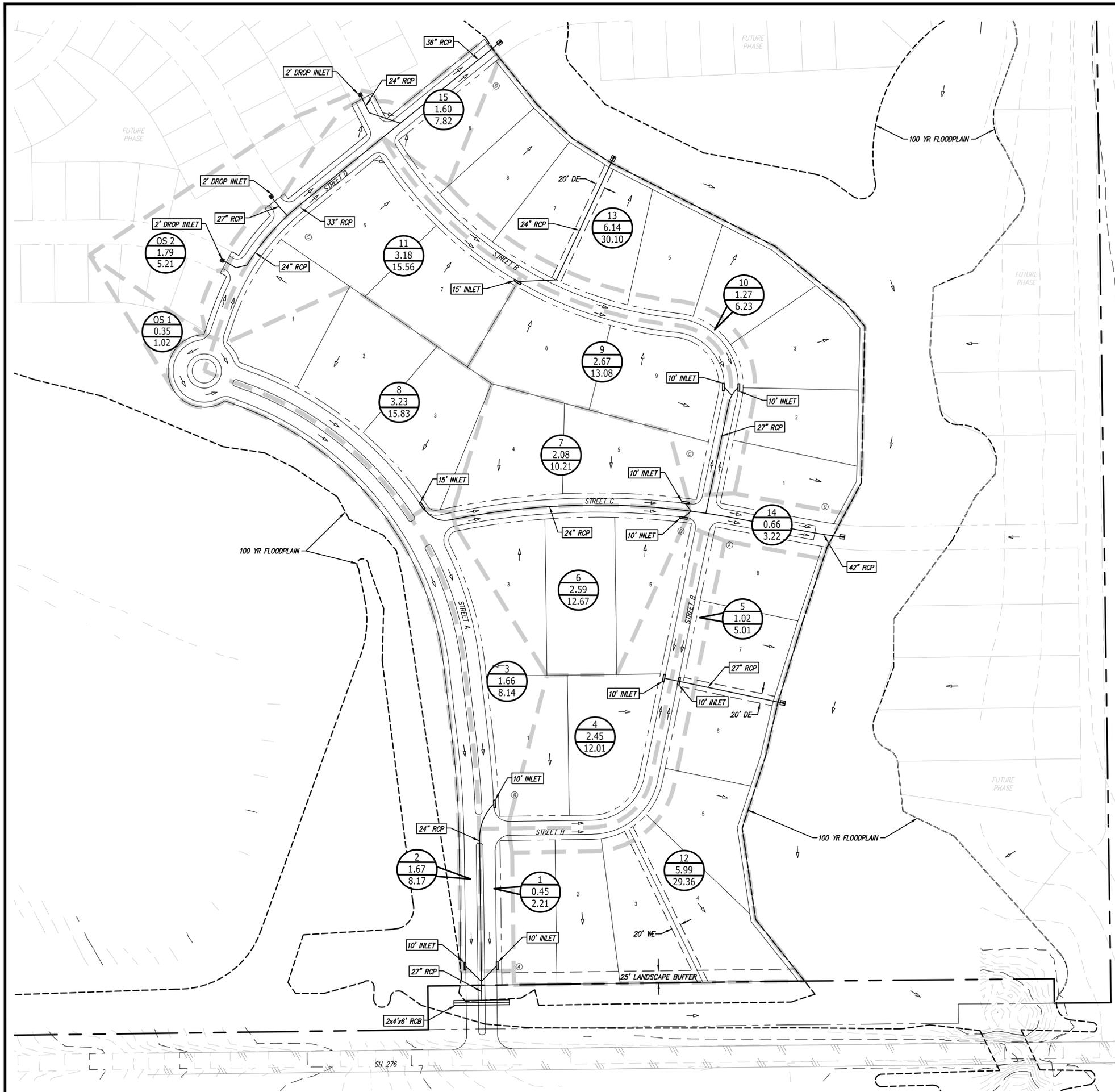
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpsc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\AD\PRELIMINARY DESIGN\Sheets\SBD20370-01-PRE-WATER & SEWER PLAN.dwg at Oct 06, 2020 9:22am by casdm



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS

Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac.)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

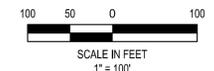
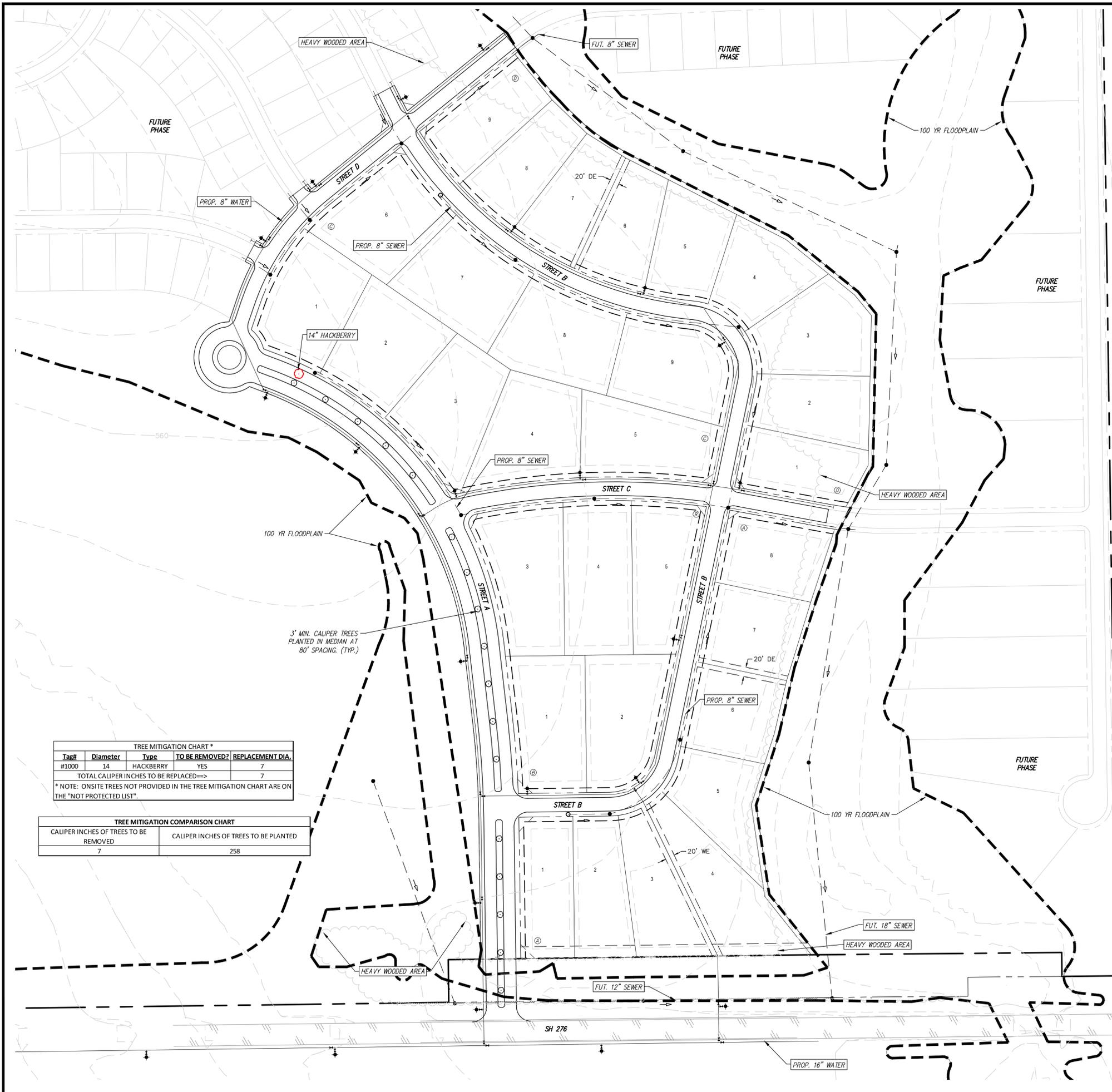
Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnppinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1

Drawing: P:\PROJECTS\SBD20370\AD\PRELIMINARY DESIGN\Sheets\SBD20370-PRE-DRAINAGE.dwg at Oct 06, 2020 11:43am by calwin



LEGEND	
	PROP. WATER LINE
	PROP. FIRE HYDRANT ASSEMBLY
	PROP. VALVE
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	MAJOR CONTOUR
	FLOOD PLAN
	TREE LINE
	PROP. TREES
	TREES TO BE REMOVED

TREE MITIGATION NOTE

- THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT. IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2*3*31=186") + (2*3*12=72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).
- EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".
- ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED=>				7

* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

Treescape Plan
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



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PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 27, 2020
APPLICANT: Tony Degelia; *A & W Surveyors, Inc.*
CASE NUMBER: P2020-043; *Lot 2 of the Cain Properties No. 1 Addition*

SUMMARY

Consider a request by Tony Degelia of A & W Surveyors, Inc. on behalf of Siren Brewing Company, LLC for the approval of a Replat for Lot 2 of the Cain Properties No. 1 Addition being a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition for the purpose abandoning and re-establishing an 18-foot front yard building setback adjacent to S. Goliad Street [SH-205]. The replat will facilitate the construction of the *Siren Rock Brewery*, which will be identified as *Lot 2 of the Cain Properties No. 1 Addition*.
- ☑ On August 20, 2018, the City Council approved a Specific Use Permit [Ordinance No. 18-34, SUP No. S-194] allowing a *Craft Brewery* on the subject property. On December 11, 2018, the Planning and Zoning Commission approved a site plan [Case No. SP2018-038] for the proposed ~11,931 SF craft brewery (*i.e. Siren Rock Brewery*) on the subject property.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 2 of the Cain Properties No. 1 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: P2020-043
PROJECT NAME: Replat of Siren Brewing Company LLC
SITE ADDRESS/LOCATIONS: 310 S GOLIAD ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by Tony Degelia of A & W Surveyors, Inc. on behalf of Siren Brewing Company, LLC for the approval of a Replat for Lot 2, Block A, Cain Properties No. 1 Addition being a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/20/2020	Approved w/ Comments

10/20/2020: P2020-043; Replat for Lot 2, Block A, Cain Properties No. 1 Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 2, Block A, Cain Properties No. 1 Addition being a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District.
- I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (P2020-043) in the lower right-hand corner of all pages of all revised plan submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Downtown (DT) District, the SH-66 Overlay (SH-66 OV) District, and the Commercial (C) District Standards of Article 05 that are applicable to the subject property.
- I.5 The replat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
- I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.
- I.7 Indicate all existing and proposed corner clips/visibility triangles at all driveway approaches.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.
- I.9 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.10 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) City Council meeting will be held on November 2, 2020.

I.11 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

10/22/2020: M - Include sight visibility easement/triangle for the proposed driveway. See attached exhibit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

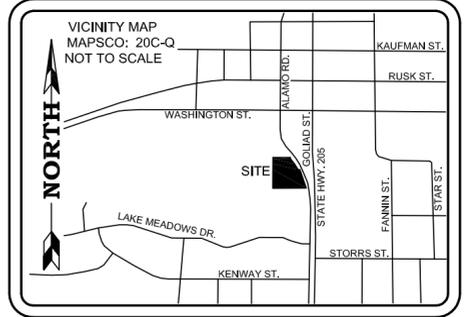
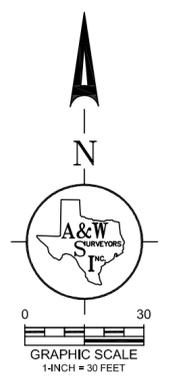
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	10/22/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

10/20/2020: No comments



BILLY W. PEOPLES
VOL. 1515, PG. 81
D.R.R.C.T.

STATE OF TEXAS
INST. NO. 2007-00380303
O.P.R.R.C.T.

LOT 1
BLOCK Z
ORIGINAL TOWN OF ROCKWALL
VOL. 38, PG. 212,
D.R.R.C.T.
BILLY W. PEOPLES
INST. NO. 20170000005610
O.P.R.R.C.T.

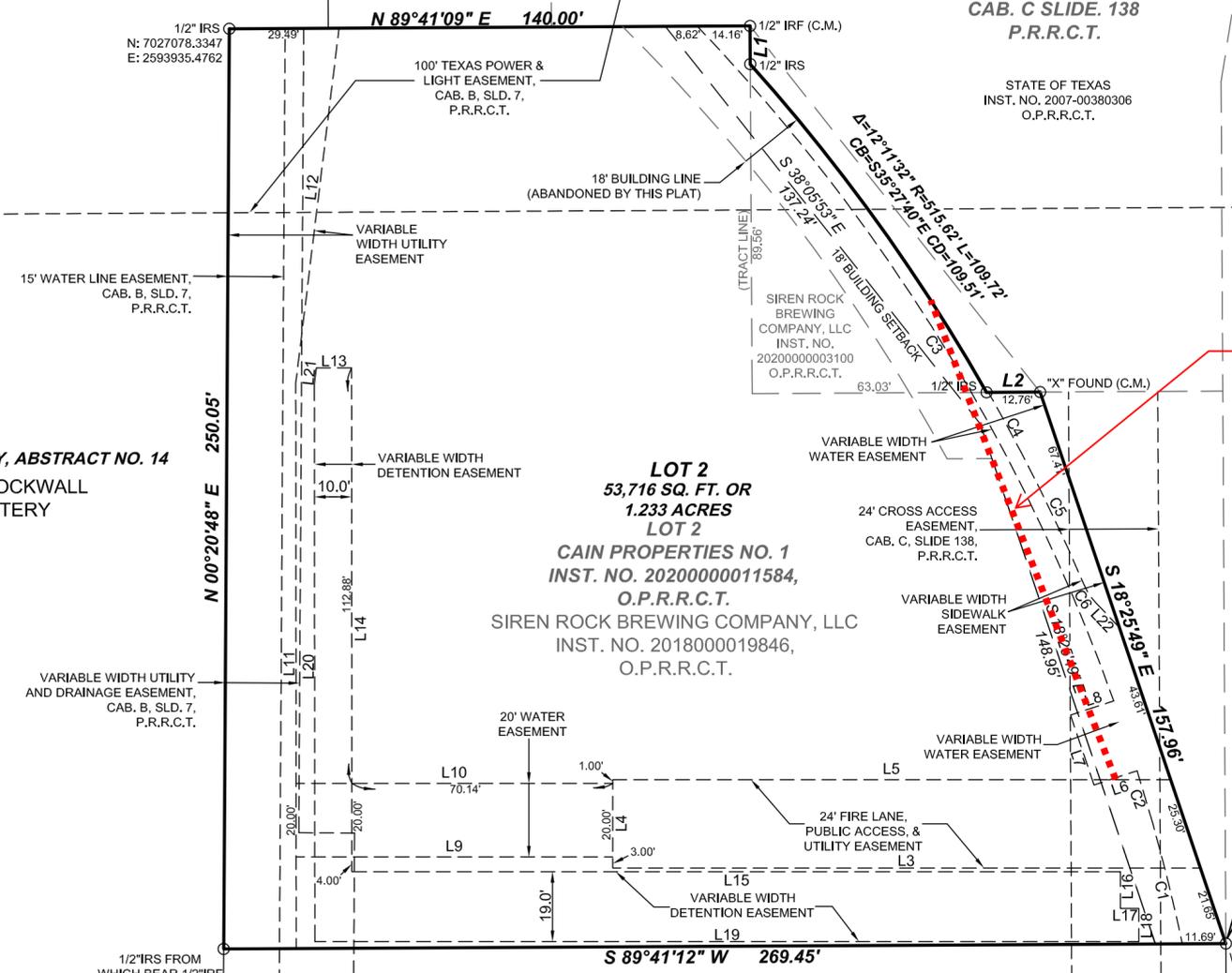
LOT 1
CAIN PROPERTIES NO. 1
CAB. C SLIDE. 138
P.R.R.C.T.

STATE OF TEXAS
INST. NO. 2007-00380306
O.P.R.R.C.T.

LOT 2
53,716 SQ. FT. OR
1.233 ACRES
LOT 2
CAIN PROPERTIES NO. 1
INST. NO. 2020000011584,
O.P.R.R.C.T.
SIREN ROCK BREWING COMPANY, LLC
INST. NO. 2018000019846,
O.P.R.R.C.T.

LOT 1-RA
CAIN PROPERTIES NO. 1
CAB. C, SLIDE. 138,
P.R.R.C.T.

LOT 1-RB
CAIN PROPERTIES NO. 1
CAB. C, SLIDE. 138,
P.R.R.C.T.



Include sight visibility
easement/triangle for the proposed
driveway. See attached exhibit.

LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
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L3	158.00'	N90°00'00\"W	L14	136.88'	S00°02'39\"E
L4	24.00'	N00°00'00\"E	L15	206.61'	N90°00'00\"E
L5	150.00'	N90°00'00\"E	L16	10.00'	S00°00'00\"E
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CURVE TABLE				
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- GENERAL NOTES**
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LEGEND

D.R.R.C.T.	Deed Records, Rockwall County, Texas
P.R.R.C.T.	Plat Records, Dallas County, Texas
O.P.R.R.C.T.	Official Public Records, Rockwall County, Texas
C.M.	Controlling Monument
VOL.	Volume
PG.	Page
CAB.	Cabinet
SLD.	Slide
INST. NO.	Instrument Number
IRF	iron rod found
IRS	1/2\" iron rod with a yellow plastic cap stamped \"RPLS 5310\" set
SQ. FT.	square feet

PLACE OF BEGINNING

N: 7026829.7632
E: 2594203.4128
1/2\" IRF FROM WHICH BEAR 1/2\" IRF (N 85°41'49\" E 1.09')

A&W SURVEYORS, INC.
Professional Land Surveyors
TEXAS REGISTRATION NO. 100174-00
P.O. BOX 870029, MESQUITE, TX. 75187
PHONE: (972) 681-4975 FAX: (972) 681-4954
WWW.AWSURVEY.COM

TRIANGLE ENGINEERING
1333 McDermott Drive, Ste. 200, Allen, TX 75013
T: 214-609-9271
F: 469-3595-6709
E: kpatel@triangle-engr.com
W: www.triangle-engr.com



Owner: Siren Breweing Company, LLC
~ 750 Justin Road, Rockwall, TX 75087 ~
Job No: 18-0788 | Drawn by: 517 | Date: 01-04-2019 | Revised: 09-28-2020
"A professional company operating in your best interest!"

PAGE 1 OF 2
REPLAT
LOT 2
CAIN PROPERTIES NO. 1
BEING A PLAT OF LOT 2,
CAIN PROPERTIES NO. 1
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
B.F. BOYDSTUN SURVEY ABSTRACT NO. 14
CASE FILE NO. P2019-016

OWNER'S CERTIFICATE

WHEREAS Siren Breweing Company, LLC is the sole owner of a tract of land located in the N.F. BOYDSTUN SURVEY, Abstract No. 14, City of Rockwall, Rockwall County, Texas, and being Lot 2, of the Replat of Cain Properties No. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof, recorded in Instrument No. 2020000011584, Official Public Records, Rockwall County, Texas, and being the same tract of land described in deed to Siren Breweing Company, LLC, recorded in Instrument No. 2018000019846 and Instrument No. 2020000003100, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the West line of State Highway No. 205, (Goliad Street), a variable width right-of-way, at the Northeast corner of Lot 1-RA, of the Replat of Cain Properties No. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 138, Plat Records, Collin County, Texas;

Thence South 89°41'12" West, a distance of 269.45' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the East line of City of Rockwall Cemetery, at the Northwest corner of said Lot 1-RA;

Thence North 00°20'48" East, along said East line, a distance of 250.05' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the interior 'ell' corner of said City of Rockwall Cemetery, same being the Northeast corner of Lot 2;

Thence North 89°41'09" East, a distance of 140.00' to a 1/2" iron rod found at the interior 'ell' corner of a tract of land described in deed to the State of Texas, recorded in Instrument No. 2007-00380306, Official Public Records, Rockwall County, Texas;

Thence South 00°19'31" East, a distance of 10.36' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner at the beginning of a non-tangent curve to the right, having a central angle of 12°11'32", a radius of 515.62', and a chord bearing and distance of South 35°27'40" East, 109.51';

Thence Southeasterly, along said curve to the right, an arc distance of 109.72' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence North 89°40'29" East, a distance of 14.40' to an "X" found at the Southwest interior corner of said State of Texas tract;

Thence South 18°25'49" East, along said present right-of-way, a distance of 157.96' to the PLACE OF BEGINNING and containing 53,716 square feet or 1.233 acres of land.

SURVEYOR'S CERTIFICATE

THAT I, John S. Turner, do hereby certify that I prepared this amending plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

Witness my hand at Mesquite, Texas, This _____ day of _____, 20__.

John S. Turner Registered Professional Land Surveyor #5310

OWNER'S DEDICATION

STATE OF TEXAS COUNTY OF ROCKWALL

That, Siren Breweing Company, LLC, acting herein by and through its duly authorized officer, does hereby certify and adopt this Replat designating the herein above described property as LOT 2, CAIN PROPERTIES NO. 1 to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the Siren Breweing Company, LLC have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. All drainage and detention on site will be maintained, repaired, and replaced by the property owner.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Name: Title:

STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 20__.

Notary Public in and for The State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall City Secretary City Engineer



A&W SURVEYORS, INC. Professional Land Surveyors TEXAS REGISTRATION NO. 100174-00 P.O. BOX 870029, MESQUITE, TX. 75187 PHONE: (972) 681-4975 FAX: (972) 681-4954 WWW.AWSURVEY.COM

Owner: Siren Breweing Company, LLC ~ 750 Justin Road, Rockwall, TX 75087 ~

Job No: 18-0788 | Drawn by: 517 | Date: 01-04-2019 | Revised: 09-28-2020 "A professional company operating in your best interest"

PAGE 2 OF 2 REPLAT LOT 2 CAIN PROPERTIES NO. 1

BEING A PLAT OF LOT 2, CAIN PROPERTIES NO. 1 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS B.F. BOYDSTUN SURVEY ABSTRACT NO. 14 CASE FILE NO. P2019-016



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-043

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S Goliad St.
 Subdivision Cain Properties No. 1 Lot 2 Block
 General Location Near the intersection of Goliad St. and Alamo Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Downtown Current Use Vacant
 Proposed Zoning Downtown Proposed Use Rockwall Brewery
 Acreage 1.233 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Siren Brewing Company LLC</u>	<input type="checkbox"/> Applicant	<u>Tony Degelia</u>
Contact Person		Contact Person	<u>ATW Surveyors Inc.</u>
Address	<u>750 Justin Rd.</u>	Address	<u>2220 Gus Thomasson</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	<u>Mesquite, TX 75150</u>
Phone		Phone	<u>972 681 4975</u>
E-Mail		E-Mail	<u>tony.dawsurvey.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Cory Cannon [Owner] the undersigned, who stated the information on this application to be true and certified the following:

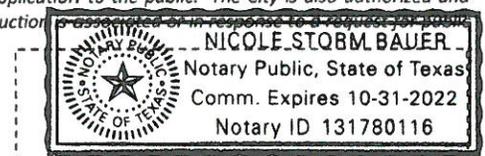
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 6th day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

Given under my hand and seal of office on this the 6th day of October, 20 20.

Owner's Signature

[Signature]
Nicole Stobm Bauer

Notary Public in and for the State of Texas



My Commission Expires 10-31-2022

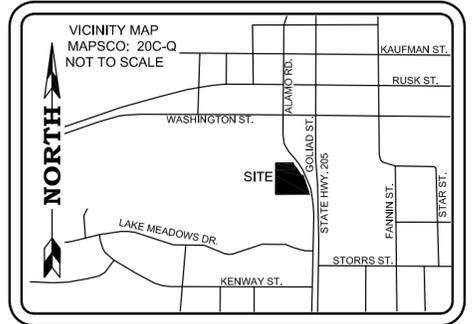
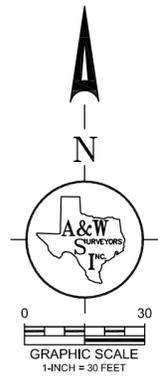


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





BILLY W. PEOPLES
VOL. 1515, PG. 81
D.R.R.C.T.

STATE OF TEXAS
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O.P.R.R.C.T.

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VOL. 38, PG. 212,
D.R.R.C.T.
BILLY W. PEOPLES
INST. NO. 2017000005610
O.P.R.R.C.T.

(GOLIAD STREET)

N. ALAMO STREET
(60' RIGHT-OF-WAY)

LOT 1
CAIN PROPERTIES NO. 1
CAB. C SLIDE. 138
P.R.R.C.T.

STATE OF TEXAS
INST. NO. 2007-00380306
O.P.R.R.C.T.

B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL
CEMETERY

15' WATER LINE EASEMENT,
CAB. B, SLD. 7,
P.R.R.C.T.

VARIABLE WIDTH UTILITY
AND DRAINAGE EASEMENT,
CAB. B, SLD. 7,
P.R.R.C.T.

1/2" IRF FROM
WHICH BEAR 1/2" IRF
(N 79°02'38" E 0.41')

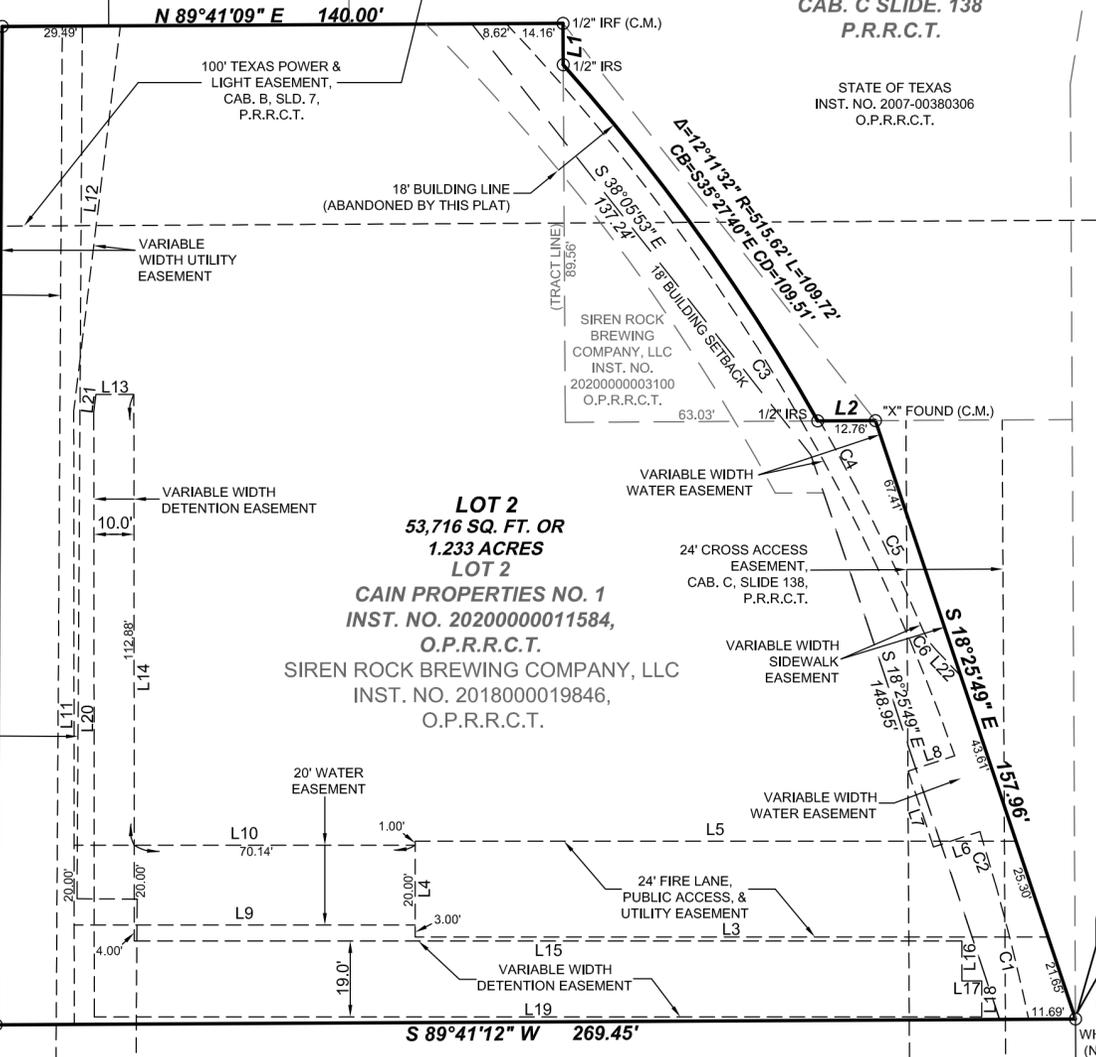
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TEXAS REGISTRATION NO. 100174-00
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PHONE: (972) 681-4975 FAX: (972) 681-4954
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TRIANGLE ENGINEERING
1333 McDermott Drive, Ste. 200, Allen, TX 75013
T: 214-609-9271
F: 469-3595-6709
E: kpatel@triangle-engr.com
W: www.triangle-engr.com

Owner: Siren Brewing Company, LLC
~ 750 Justin Road, Rockwall, TX 75087 ~
Job No: 18-0788 | Drawn by: 517 | Date: 01-04-2019 | Revised: 09-28-2020
"A professional company operating in your best interest"

PAGE 1 OF 2
REPLAT
LOT 2
CAIN PROPERTIES NO. 1
BEING A PLAT OF LOT 2,
CAIN PROPERTIES NO. 1
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
B.F. BOYDSTUN SURVEY ABSTRACT NO. 14
CASE FILE NO. P2019-016

OWNER'S CERTIFICATE

WHEREAS Siren Breweing Company, LLC is the sole owner of a tract of land located in the N.F. BOYDSTUN SURVEY, Abstract No. 14, City of Rockwall, Rockwall County, Texas, and being Lot 2, of the Replat of Cain Properties No. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof, recorded in Instrument No. 20200000011584, Official Public Records, Rockwall County, Texas, and being the same tract of land described in deed to Siren Breweing Company, LLC, recorded in Instrument No. 2018000019846 and Instrument No. 20200000003100, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the West line of State Highway No. 205, (Goliad Street), a variable width right-of-way, at the Northeast corner of Lot 1-RA, of the Replat of Cain Properties No. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 138, Plat Records, Collin County, Texas;

Thence South 89°41'12" West, a distance of 269.45' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the East line of City of Rockwall Cemetery, at the Northwest corner of said Lot 1-RA;

Thence North 00°20'48" East, along said East line, a distance of 250.05' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the interior 'ell' corner of said City of Rockwall Cemetery, same being the Northeast corner of Lot 2;

Thence North 89°41'09" East, a distance of 140.00' to a 1/2" iron rod found at the interior 'ell' corner of a tract of land described in deed to the State of Texas, recorded in Instrument No. 2007-00380306, Official Public Records, Rockwall County, Texas;

Thence South 00°19'31" East, a distance of 10.36' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner at the beginning of a non-tangent curve to the right, having a central angle of 12°11'32", a radius of 515.62', and a chord bearing and distance of South 35°27'40" East, 109.51';

Thence Southeasterly, along said curve to the right, an arc distance of 109.72' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence North 89°40'29" East, a distance of 14.40' to an "X" found at the Southwest interior corner of said State of Texas tract;

Thence South 18°25'49" East, along said present right-of-way, a distance of 157.96' to the PLACE OF BEGINNING and containing 53,716 square feet or 1.233 acres of land.

SURVEYOR'S CERTIFICATE

THAT I, John S. Turner, do hereby certify that I prepared this amending plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

Witness my hand at Mesquite, Texas, This _____ day of _____, 20__.

John S. Turner Registered Professional Land Surveyor #5310

OWNER'S DEDICATION

STATE OF TEXAS COUNTY OF ROCKWALL

That, Siren Breweing Company, LLC, acting herein by and through its duly authorized officer, does hereby certify and adopt this Replat designating the herein above described property as LOT 2, CAIN PROPERTIES NO. 1 to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the Siren Breweing Company, LLC have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. All drainage and detention on site will be maintained, repaired, and replaced by the property owner.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Name: Title:

STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 20__.

Notary Public in and for The State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall City Secretary City Engineer



A&W SURVEYORS, INC. Professional Land Surveyors TEXAS REGISTRATION NO. 100174-00 P.O. BOX 870029, MESQUITE, TX. 75187 PHONE: (972) 681-4975 FAX: (972) 681-4954 WWW.AWSURVEY.COM

Owner: Siren Breweing Company, LLC ~ 750 Justin Road, Rockwall, TX 75087 ~

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: P2020-045
PROJECT NAME: Replat of 428 Columbia Drive
SITE ADDRESS/LOCATIONS: 428 COLUMBIA DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by John F. Dudek for the approval of a Replat for Lot 57 of Chandler's Landing, Phase 2 being a 0.248-acre tract of land identified as Lots 35 & 36 of Chandler's Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 428 Columbia Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/22/2020	Needs Review

10/22/2020: P2020-045; Replat for Lot 57, Chandler's Landing Phase 2

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Replat for Lot 57 of Chandler's Landing, Phase 2 being a 0.248-acre tract of land identified as Lots 35 & 36 of Chandler's Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 428 Columbia Drive.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (P2020-045) in the lower right-hand corner of all pages of all revised plan submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development 8 (PD-8) standards that are applicable to the subject property.
- I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
- I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.
- M.7 Correct Title Block to read as follows:
Final Plat
Chandler's Landing, Phase 2, Lot 57
(1 Lot)
Being a Replat of
Chandlers Landing, Phase 2, Lots 35 and 36,
Being 0.248 Acres or 10,800 SF
Out of the Edward Teal Survey, A-207

I.8 The future SUP should conform to the guidelines found on page 49 of the PD-8 ordinance. Minimum lot width 40ft, minimum lot depth 100ft, minimum front yard 25ft, minimum side yard 10ft, maximum lot coverage 60%, i.e.

M.9 Provide adjacent property information to the east and west of the subject property.

M.10 Check for typos on sheet 2.

M.11 Include the storm drainage improvement statement as #7. "The property owner is responsible for maintenance, repair, and replacement of all detention and drainage systems."

M.12 Correct the mention of Lot 55 to Lot 57 in the standard signature block.

M.13 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.15 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.16 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) City Council meeting will be held on November 2, 2020.

I.17 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

10/22/2020: M - Show the Ex. 5' Wall Maintenance Esmt. (Vol. 112 Pg. 546 & Vol. 112 Pg. 565) on the north side of the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

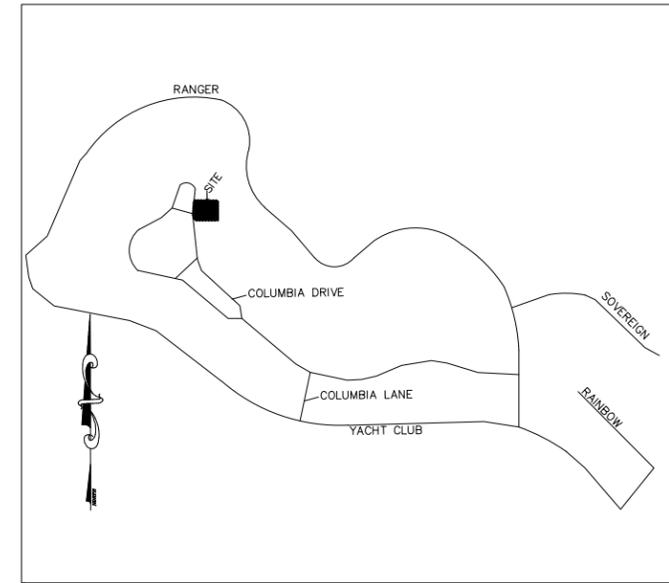
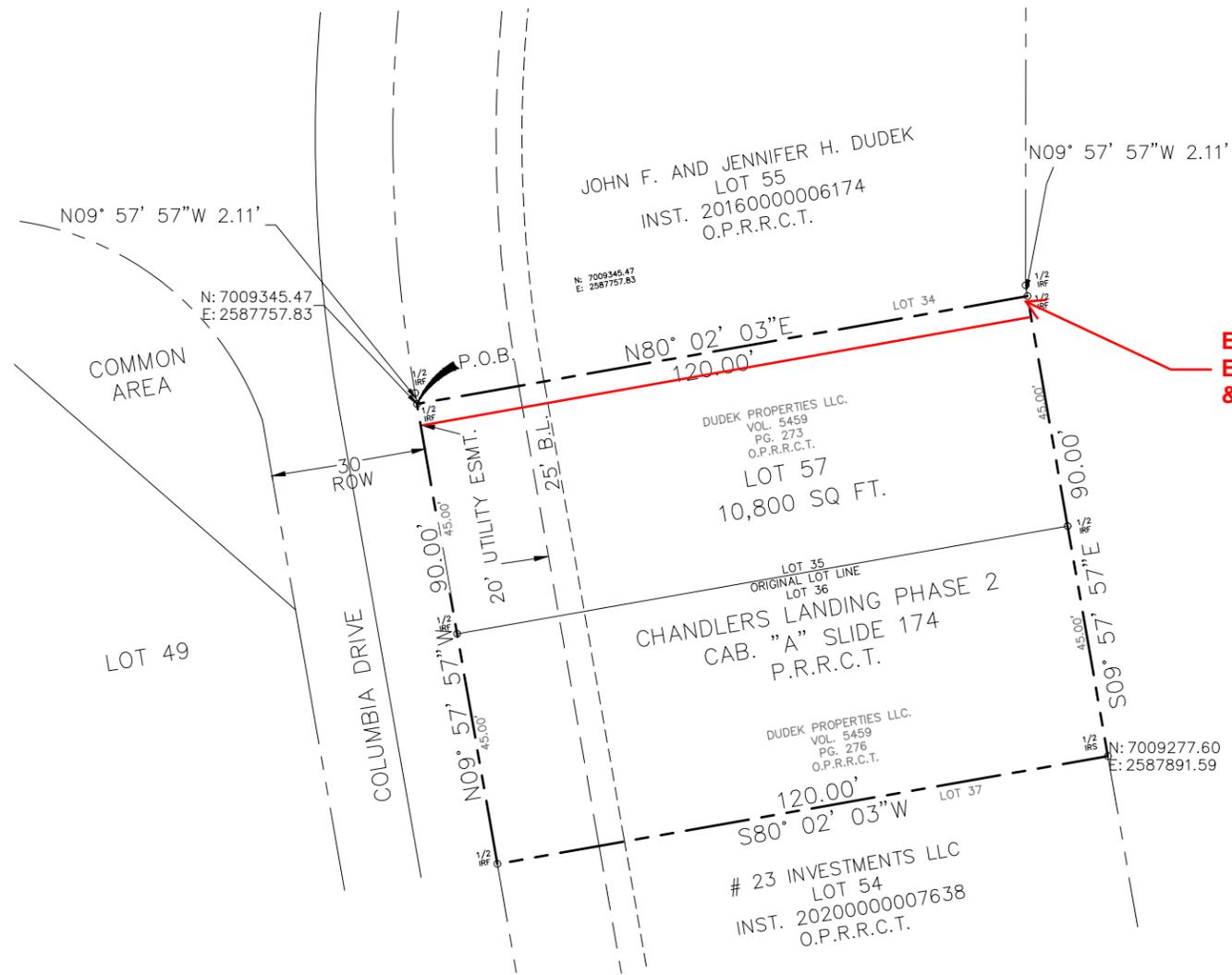
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/22/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

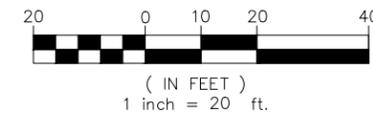
10/20/2020: No comments



VICINITY MAP
(N.T.S.)



GRAPHIC SCALE



LEGEND:

P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
IRF	IRON ROD FOUND
IRS	IRON ROD SET WITH CAP STAMPED "USA INC."
P.O.B.	POINT OF BEGINNING
ROW	RIGHT-OF-WAY
B.L.	BUILDING LINE
SQ FT	SQUARE FEET
VOL.	VOLUME
PG.	PAGE
CAB.	CABINET

NOTES

1. According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
2. Bearing Source: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.

ENGINEERS/SURVEYORS:

USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS - REGISTERED FIRM NO. F-1845
 TEXAS BOARD OF LAND SURVEYORS - REGISTERED FIRM 101074-00
 1525 VICEROY DRIVE, DALLAS, TEXAS 75235
 OFFICE: (214) 634-3300 FAX: (214) 634-3338
 WWW.USAPROFESSIONALS.COM
 USAI 2018006.00

OWNER:

JOHN F. DUDEK
 JENNIFER H. DUDEK
 333 HARBORVIEW DRIVE
 ROCKWALL, TEXAS 75032

REPLAT
 CHANDLERS LANDING PHASE 2
 LOT 57
 BEING A REPLAT OF
 LOT 35 AND 36 0.248 ACRES OR 10,800 S.F.
 (1 LOT)
 EDWARD TEAL SURVEY A-207
 THE CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 OCTOBER 14, 2020



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-045

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 428 COLUMBIA DRIVE, ROCKWALL, TEXAS

Subdivision CHANDLER'S LANDING PHASE 2 Lot 35+36 Block

General Location COLUMBIA DRIVE CHANDLER'S LANDING

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PO8 Current Use C4

Proposed Zoning PO8 Proposed Use C4

Acreage 0.248 Lots [Current] 35+36 Lots [Proposed] 57

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SAME AS APPLICANT Applicant JOHN F. DUDEK

Contact Person JOHN F. DUDEK

Address 432 COLUMBIA DRIVE

City, State & Zip ROCKWALL, TX 75087

Phone 623-237-2960

E-Mail jfdudek54@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John F. Dudek [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 320.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of OCTOBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

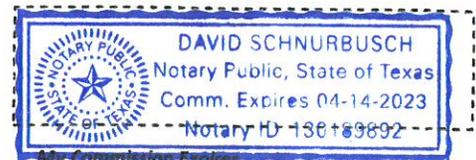
Given under my hand and seal of office on this the 15th day of OCTOBER, 20 20

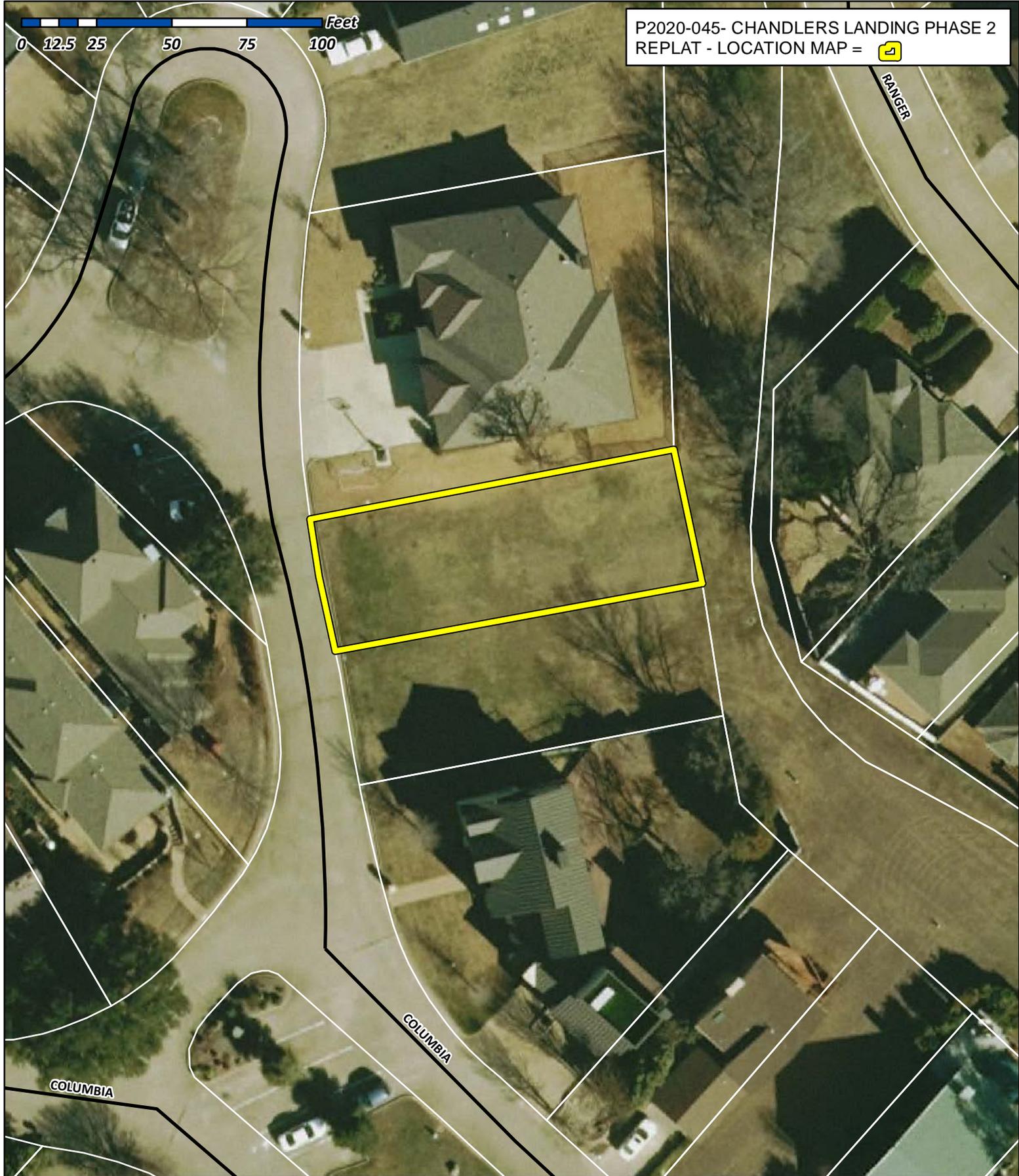
Owner's Signature

John F. Dudek

Notary Public in and for the State of Texas

David Schnurbusch





P2020-045- CHANDLERS LANDING PHASE 2
REPLAT - LOCATION MAP = [icon]



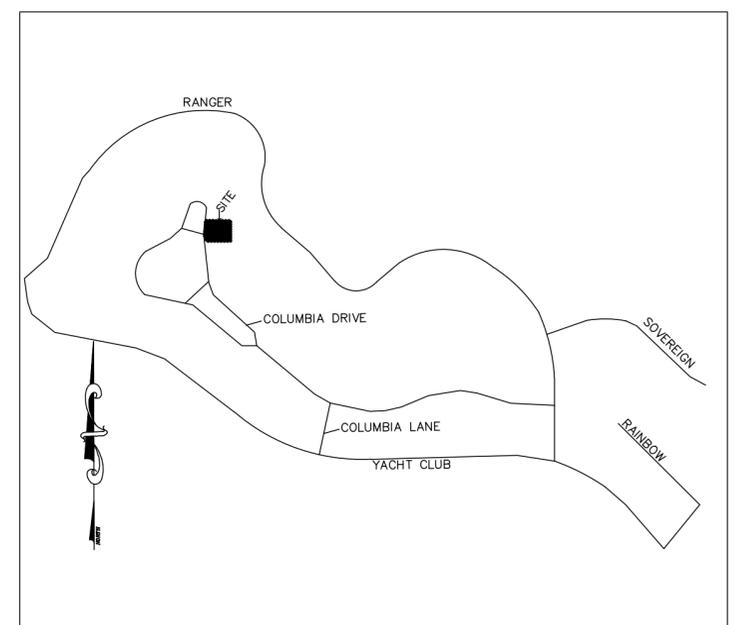
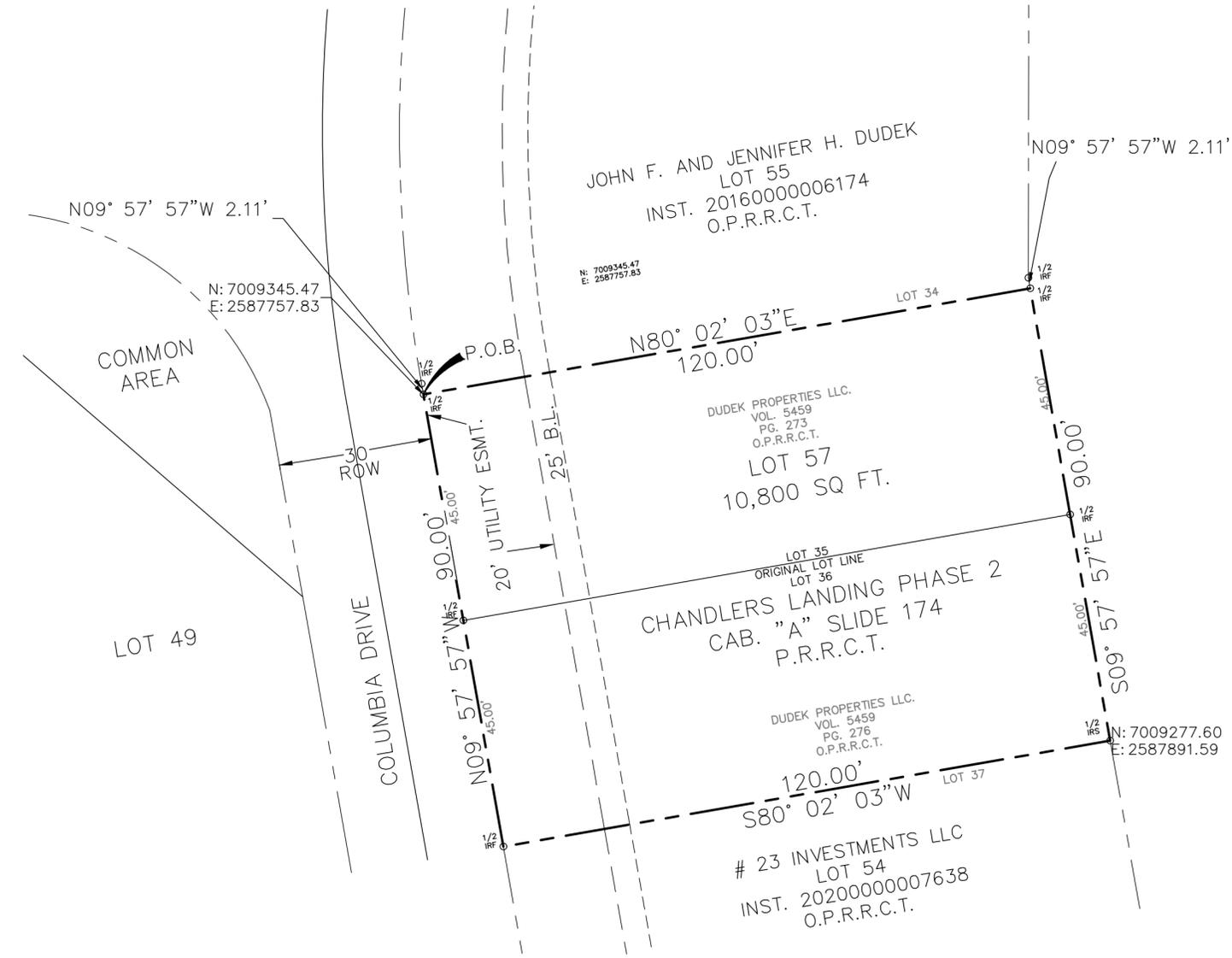
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

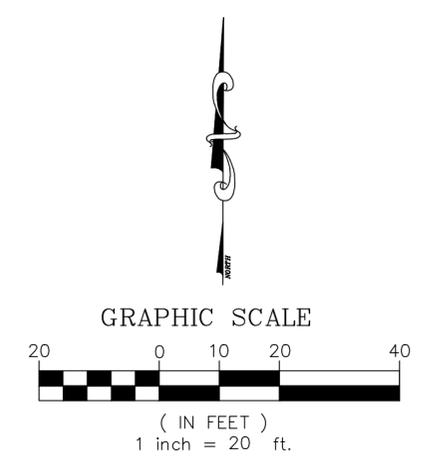
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



P:\Siskengn\DUDEK REPLAT.dwg, Layout1, 10/14/2020 8:56:52 AM, Dylan Moore



VICINITY MAP
(N.T.S.)



LEGEND:

- | | |
|------------|---|
| P.R.R.C.T. | PLAT RECORDS, ROCKWALL COUNTY, TEXAS |
| O.P.R.C.T. | OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS |
| IRF | IRON ROD FOUND |
| IRS | IRON ROD SET WITH CAP STAMPED "USA INC." |
| P.O.B. | POINT OF BEGINNING |
| ROW | RIGHT-OF-WAY |
| B.L. | BUILDING LINE |
| SQ FT | SQUARE FEET |
| VOL. | VOLUME |
| PG. | PAGE |
| CAB. | CABINET |

NOTES

1. According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
2. Bearing Source: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.

ENGINEERS/SURVEYORS:

USA PROFESSIONAL SERVICES GROUP, INC.
 CIVIL ENGINEERS—SURVEYORS—PLANNERS—LANDSCAPE ARCHITECTS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS — REGISTERED FIRM NO. F-1845
 TEXAS BOARD OF LAND SURVEYORS — REGISTERED FIRM 101074-00
 1525 VICEROY DRIVE, DALLAS, TEXAS 75235
 OFFICE: (214) 634-3300 FAX: (214) 634-3338
 WWW.USAENGINEERS.COM
 USAI 2018006.00

OWNER:

JOHN F. DUDEK
 JENNIFER H. DUDEK
 333 HARBORVIEW DRIVE
 ROCKWALL, TEXAS 75032

REPLAT
 CHANDLERS LANDING PHASE 2
 LOT 57
 BEING A REPLAT OF
 LOT 35 AND 36 0.248 ACRES OR 10,800 S.F.
 (1 LOT)
 EDWARD TEAL SURVEY A-207
 THE CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 OCTOBER 14, 2020

OWNER'S CERTIFICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, JOHN F. DUDEK and JENNIFER H. DUDEK, being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows;

Being all of Lot 35 and Lot 36, CHANDLERS LANDING PHASE 2, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in cabinet "A" slide 174 Plat Records Rockwall County, Texas;

BEGINNING at a 1/2 inch iron rod found for a corner in the east right-of-way line of Columbia Drive, a 30 foot right-of-way, said point being the Northwest corner of said lot 35;

THENCE North 80 degrees 02 minutes 03 seconds East a distance of 120.00 feet to a 1/2 inch iron rod found for corner, being Northeast corner of said lot 35:

South 09 degrees 57 minutes 57 seconds East a distance of 90.00 feet to a 1/2 inch iron rod set with cap "USA INC." for corner, being the Southeast corner of said lot 36;

South 80 degrees 02 minutes 03 seconds West a distance of 120.00 feet to a 1/2 inch iron rod found for corner, said corner being in the East right-of-way of Columbia Drive, and the Southwest corner of lot 36;

North 09 degrees 57 minutes 57 seconds West along said right-of-way a distance of 90.00 feet to the POINT OF BEGINNING and containing 10,800 square feet or .248 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as REPLAT CHANDLERS LANDING PHASE 2, LOT 57, BEING A REPLAT OF LOT 35 AND 36, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, easements and public places thereon shown on the purpose and consideration there in expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all time have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwal.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

JOHN F. DUDEK

JENNIFER H. DUDEK

STATE OF TEXAS
COUNTY OF

Before me, the undersigned authority. On this day personal appeared JOHN F. DUDEK, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same for the purpose and consideration therein stated.

Give upon my hand and seal of office this ___ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires On:

efore me, the undersigned authority. On this day personal appeared JENNIFER H. DUDEK, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same for the purpose and consideration therein stated.

Give upon my hand and seal of office this ___ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires On:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED:

I hereby certify that the above and foregoing plat of REPLAT CHANDLERS LANDING PHASE 2, LOT 55, BEING A REPLAT OF LOT 35 AND 36, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of _____, _____.

Mayor, City of Rockwall

City Secretary, City of Rockwall

City Engineer, City of Rockwall

SURVEYORS CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, William V. Perry, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision

William V. Perry DATE
Registered Professional Land Surveyor Registration No. 4699
USA Professional Services Group, Inc.



REPLAT
CHANDLERS LANDING PHASE 2
LOT 57
BEING A REPLAT OF
LOT 35 AND 36 0.248 ACRES OR 10,800 S.F.
(1 LOT)
EDWARD TEAL SURVEY A-207
THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OCTOBER 14, 2020

ENGINEERS/SURVEYORS:



USA PROFESSIONAL SERVICES GROUP, INC.

CIVIL ENGINEERS-SURVEYORS-PLANNERS-LANDSCAPE ARCHITECTS
TEXAS BOARD OF PROFESSIONAL ENGINEERS - REGISTERED FIRM NO. F-1845
TEXAS BOARD OF LAND SURVEYORS - REGISTERED FIRM 101074-00
1525 VICEROY DRIVE, DALLAS, TEXAS 75235
OFFICE: (214) 634-3300 FAX: (214) 634-3338
WWW.USAENGINEERS.COM
USA1 2018006.00

OWNER:
JOHN F. DUDEK
JENNIFER H. DUDEK
333 HARBORVIEW DRIVE
ROCKWALL, TEXAS 75032

NOTE:It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: David Gonzales, *Planning and Zoning Manager*
DATE: October 27, 2020
SUBJECT: SP2020-026; *Amended Site Plan for Primrose School*

The applicant, Clay Cristy of ClayMoore Engineering, is requesting the approval of an amended site plan for the purpose of changing the stone on the exterior building elevations of a previously approved daycare center (*i.e. Primrose School*). The site plan (*Case No. SP2020-005*) for proposed daycare facility was originally approved on June 9, 2020 by the Planning and Zoning Commission. At the time of approval, the applicant had requested and was granted two (2) variances to the [1] primary building façade articulation requirements and [2] to the amount of stucco proposed for the building (*i.e. stucco in excess of 50% of the building's exterior*). Staff should point out that the applicant's request does not change the building elevations, only the type of the natural stone being used from a *Leuder's Limestone* to a *Tuscany General Shale Thin Rock* (*i.e. Chopped Stone*). The purpose of this change is to better match the existing and adjacent retail shopping center (*i.e. Tom Thumb*). With this being said, the Architectural Review Board (ARB) will need to review the proposed change and forward a recommendation to the Planning and Zoning Commission at the October 27, 2020 meeting. This change being relatively minor, staff has placed this item on the consent agenda pending a positive recommendation from the ARB; however, should the ARB request changes be made to the exterior of the building, the item will need to be removed from the consent agenda and acted on at the November 10, 2020 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: SP2020-026
PROJECT NAME: Amended Site Plan for Primrose School
SITE ADDRESS/LOCATIONS: 3068 N GOLIAD ST

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of an Amended Site Plan for a daycare center on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/22/2020	Approved w/ Comments
10/22/2020: Requires a recommendation of approval by the Architectural Review Board and approval by the Planning and Zoning Commission.			
ENGINEERING	David Gonzales	10/22/2020	N/A
10/22/2020: Approved			
BUILDING	Rusty McDowell	10/20/2020	Approved
No Comments			
FIRE	Ariana Kistner	10/21/2020	Approved
10/21/2020: Amended Site Plan reviewed for building exterior materials only			
GIS	Lance Singleton	10/21/2020	Approved w/ Comments
10/21/2020: Assigned address will be 3068 N Goliad St, Rockwall, TX 75087			
POLICE	Ed Fowler	10/22/2020	Approved w/ Comments
10/22/2020: Due to the special nature of schools, both public and private, it is recommended that we meet with the owners/architects to discuss the recommendations for the building and surrounding area(s). EMF#902			
PARKS	Travis Sales	10/20/2020	Denied

10/20/2020: Please provide Landscape and Treescape plans



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-026

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision **Stone Creek Retail Addition**

Lot **8**

Block **A**

General Location **North East Corner of N. Goliad St and Bordeaux Dr.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-070**

Current Use **Undeveloped**

Proposed Zoning **PD-070**

Proposed Use **Mixed-Retail/Rest//Office/Daycare**

Acreage **8.00**

Lots [Current] **1**

Lots [Proposed] **2**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **Metroplex Acquisition Fund, LP**

Applicant **ClayMoore Engineering**

Contact Person **Grey Stogner**

Contact Person **Clay Cristy**

Address **1717 Woodstead Ct.
Ste. 207**

Address **1903 Central Dr.
Ste. 406**

City, State & Zip **The Woodlands, TX 77380**

City, State & Zip **Bedford, Texas 76021**

Phone **214.343.4477**

Phone **817.281.0572**

E-Mail **gstogner@crestviewcompanies.com**

E-Mail **Clay@claymooreeng.com**

NOTARY VERIFICATION [REQUIRED]

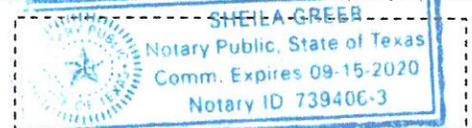
Before me, the undersigned authority, on this day personally appeared Grey Stogner [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of February, 2020.

Owner's Signature

Notary Public in and for the State of Texas

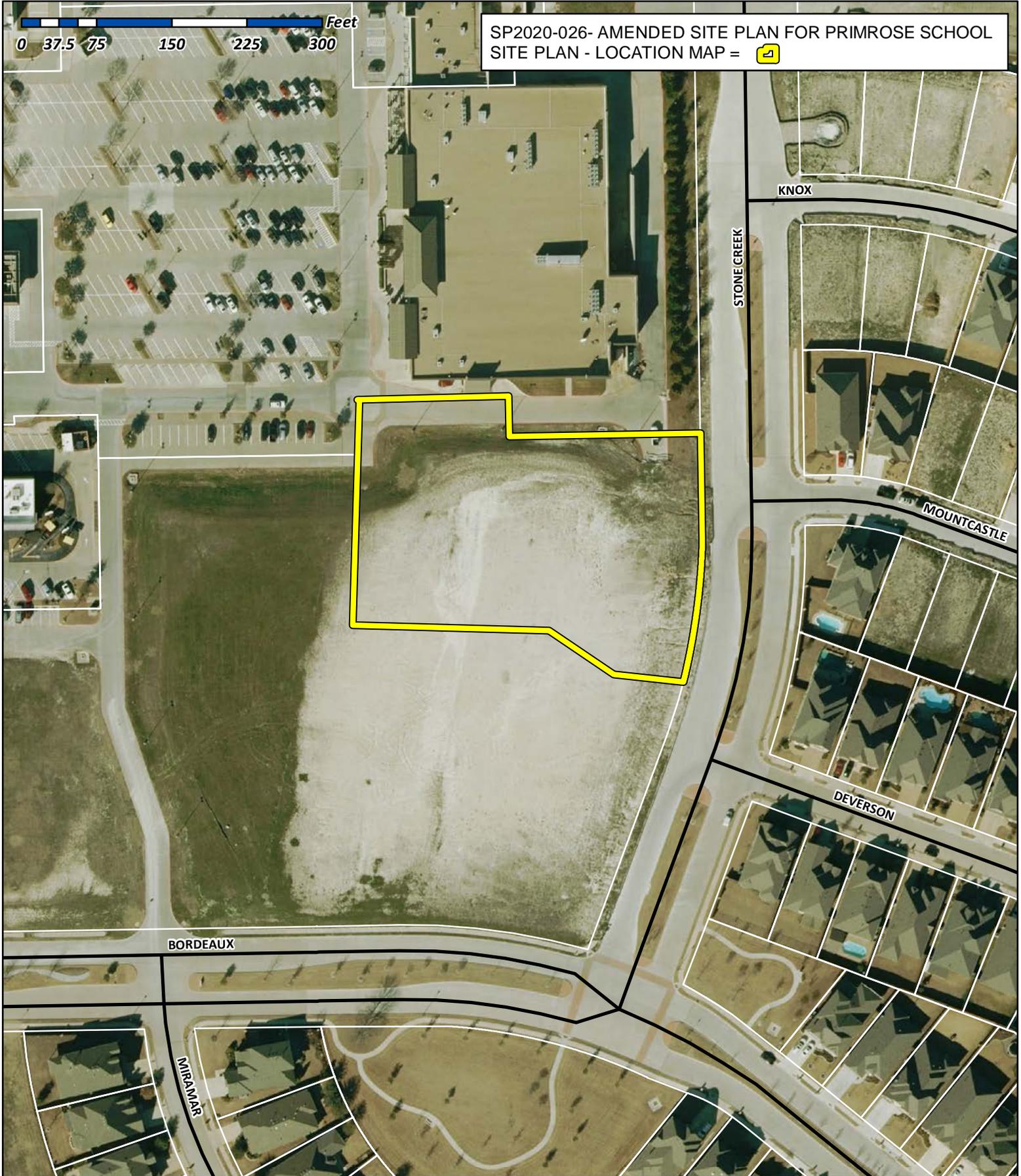


My Commission Expires

9-15-2020

0 37.5 75 150 225 300 Feet

SP2020-026- AMENDED SITE PLAN FOR PRIMROSE SCHOOL
SITE PLAN - LOCATION MAP = 

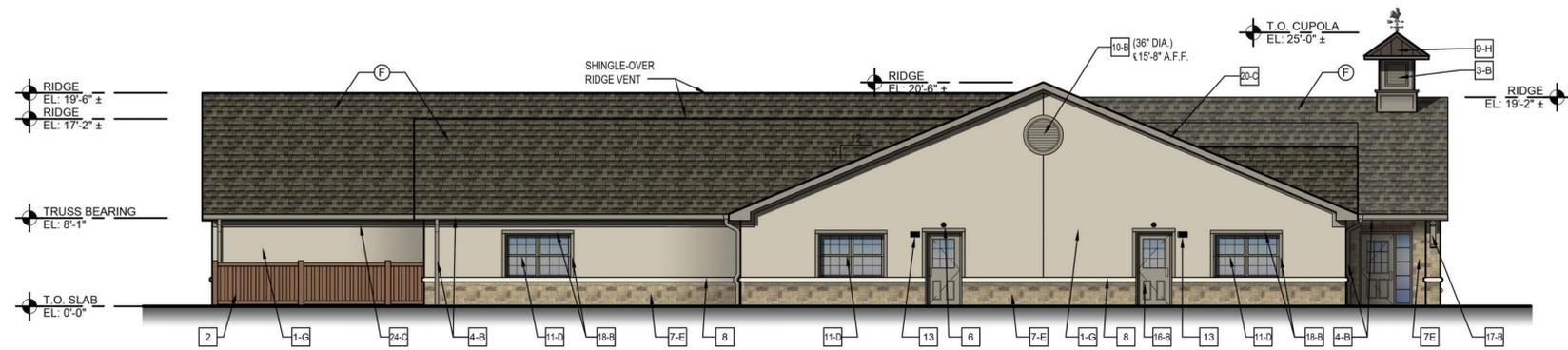


City of Rockwall

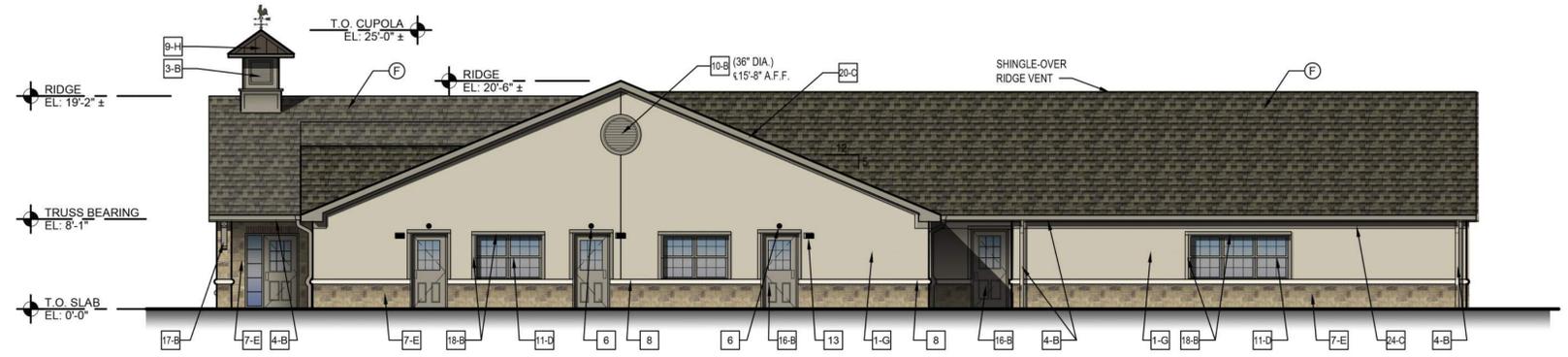
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

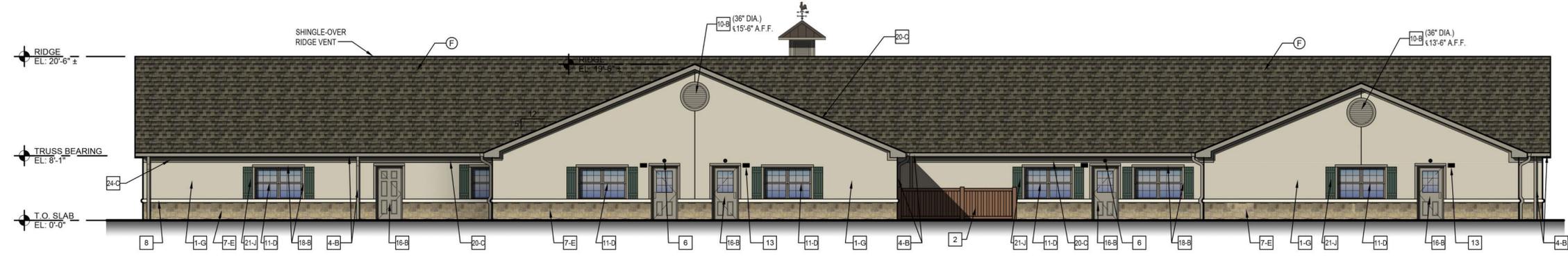




NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____
WITNESS OUR HANDS THIS ____ DAY OF _____
PLANNING AND ZONING COMMISSION, CHAIRMAN _____
DIRECTOR OF PLANNING AND ZONING _____


 PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

COLORED ELEVATIONS
PRIMROSE SCHOOL
 BORDEAUX DRIVE & STONE CREEK DRIVE
 NORTH ROCKWALL, TX
 10/5/2020

SP2020-05

12 Sunnen Drive, Suite 100
 St. Louis, MO 63143
 o: 314.821.1100

CASCO + R5



WEST ELEVATION

KEYED NOTES:

- 1 STUCCO.
- 2 TREX FENCE SCREEN FOR HVAC UNITS, COLOR SADDLE, SEE A7.3
- 3 CUPOLA WITH WEATHER VANE, SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
- 4 EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE AND FERRULE AT 36" O.C. OGEE PROFILE. CONNECT 4" DIA. DOWNSPOUTS TO UNDER GROUND STORM SYSTEM.
- 5 NOT USED
- 6 WALL MOUNTED EMERGENCY LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 7 NATURAL STONE. SEE EXTERIOR COLOR SCHEDULE FOR MANUFACTURER.
- 8 PRECAST BULLNOSE SILL - NATURAL WHITE COLOR
- 9 STANDING SEAM ROOF.
- 10 24" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS. SEE 6/A6.2.
- 11 VINYL SINGLE HUNG WINDOWS WITH CLEAR GLASS (SEE WINDOW ELEVATIONS SHEET A2.1)
- 12 FIXED WINDOW WITH CLEAR GLASS. (SEE WINDOW ELEVATIONS SHEET A2.1)
- 13 WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. MOUNT 82 1/2" A.F.G. TO CENTER OF FIXTURE
- 14 NOT USED
- 15 BEIGE ALUMINUM PLAQUE w/ 6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN.
- 16 H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
- 17 "FYFON" PVC BRACKET, MODEL NO. BKT31X30X5. PAINTED.
- 18 1X4 TRIM BOARD, PAINT
- 19 NOT USED
- 20 1X8 TRIM BOARD, PAINT
- 21 VINYL SHUTTERS
- 22 NOT USED
- 23 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT)
- 24 PREFINISHED TRIM AND FRIEZE BOARDS



STUCCO



MONTEREY TAUPE



STANDING SEAM ROOF



STONE



SHINGLES

MATERIAL PERCENTAGES

ELEVATION	TOTAL ELEVATION (SF)	TOTAL WINDOWS/DOORS (SF)	TOTAL MATERIALS EXCLUDING WINDOWS/DOORS (SF)	STONE (SF)	STONE (%)	STUCCO (SF)	STUCCO (%)
NORTH	1,231	161	1,070	295	28	675	63
SOUTH	1,231	219	1,012	278	27	652	64
WEST	1,801	326	1,475	653	44	614	42
EAST	1,853	283	1,570	426	27	930	59

EXTERIOR COLOR SCHEDULE

- (A) TRASH ENCLOSURE GATES (POST & HINGES) #BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
 - (B) EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND DOWNSPOUTS, SOFFITS, BRACKETS. JAMES HARDIE - "MONTEREY TAUPE"
 - (C) EXTERIOR FASCIA, FRIEZE JAMES HARDIE - "MONTEREY TAUPE"
 - (D) WINDOWS COLOR - "ALMOND"
 - (E) NATURAL STONE: "TUSCANY" GENERAL SHALE THIN - ROCK
 - (F) FIBERGLASS ASPHALT SHINGLES: MANUFACTURER: GAF OR (CERTAINTeed) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY
 - (G) STUCCO: ONE COAT STUCCO W/ ELASTOMERIC COATING. STO - POWERWALL: GRANT BEIGE, HC-83 BENJAMIN MOORE
 - (H) STANDING SEAM ROOF: AEP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE
 - (J) VINYL SHUTTERS architecturaldepot.com - 14" JOINED SHUTTERS W/INSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN
- NOTE: CAULK COLOR @ CONTROL JOINTS SHALL BE CLOSEST MATCH TO STONE COLOR.
- NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR



PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
 FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

MATERIAL BOARD AND COLORED ELEVATION
PRIMROSE SCHOOL
 BORDEAUX DRIVE & STONE CREEK DRIVE
 NORTH ROCKWALL, TX
 10/5/2020

PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
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APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
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WITNESS OUR HANDS THIS ____ DAY OF ____.
PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

Previously Approved Building Elevations.



WEST ELEVATION

KEYED NOTES:

- 1 HARDIE PLANK LAP SIDING
- 2 TREX FENCE SCREEN FOR HVAC UNITS. COLOR SADDLE. SEE A7.3
- 3 CUPOLA WITH WEATHER VANE. SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA, WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
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HARDIE PLANK LAP SIDING



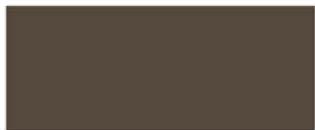
STONE



SHINGLES



MONTEREY TAUPE



STANDING SEAM ROOF

MATERIAL PERCENTAGES

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- (C) EXTERIOR FASCIA, FRIEZE JAMES HARDE - "MONTEREY TAUPE"
- (D) WINDOWS COLOR - "ALMOND"
- (E) STONE: LEUDER'S LIMESTONE ROUGHBACK "BUFF" TYPE: RANDOM LENGTH (4" TO 24") COURSE HEIGHT: 8", 10", 12", & 16" GROUT: LIGHT BUFF COLORED MORTAR MFR: MEZGER ENTERPRISES, LTD (OR APPROVED EQUAL)
- (F) FIBERGLASS ASPHALT SHINGLES: NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR. MANUFACTURER: GAF OR (CERTAINTED) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY
- (G) HARDIE PLANK LAP SIDING: COBBLESTONE JH40-10
- (H) STANDING SEAM ROOF: ASP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE
- (J) VINYL SHUTTERS: architecturaldepot.com - 14" JOINED SHUTTERS W/INT'L SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN



PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

MATERIAL BOARD AND COLORED ELEVATION
PRIMROSE SCHOOL
 BORDEAUX DRIVE & STONE CREEK DRIVE
 NORTH ROCKWALL, TX
 06/1/2020

PRIMROSE SCHOOL ROCKWALL, TX 75087
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APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEESFORD, TX 76011 PH: 817.281.0572
CASE NUMBER: SP2020-005
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WITNESS OUR HANDS THIS _____ DAY OF _____
PLANNING AND ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: October 27, 2020
SUBJECT: SP2020-029; *Amended Site Plan for 560 E. IH-30*

On August 26, 2008, the Planning and Zoning Commission approved a site plan [*Case No. SP2008-027*] for a Logan's Roadhouse restaurant on the subject property, which is a 1.346-acre parcel of land addressed as 560 E. IH-30. This action came after the Architectural Review Board (ARB) recommended approval of the site plan and building elevations as submitted. This project was ultimately constructed and issued a Certificate of Occupancy (CO) [*CO2009-0105*] on July 16, 2009. The restaurant operated as a Logan's Roadhouse restaurant until November 2018 (*according to the water records*) went the restaurant went out of business. The building has remained vacant since the restaurant went out of business.

Recently, the new owner of the property -- *Jason Potts* -- approached staff to discuss the possibility of converting this restaurant into an office building. The only changes to the subject property proposed by the applicant relate to adding a second floor and mezzanine area onto the new building. Since this property is located within the IH-30 Overlay (IH-30 OV) District and was originally reviewed by the Architectural Review Board (ARB), any changes to the exterior of the building will require the ARB's recommendation and the Planning and Zoning Commission's approval. The changes being minor in nature, staff has placed this item on the consent agenda pending a positive recommendation from the ARB; however, should the ARB request changes be made to the exterior of the building the item will need to be removed from the consent agenda and acted upon at the November 10, 2020 Planning and Zoning Commission meeting.

Staff should note that in reviewing this case it was determined that a couple of trees required by the original landscape plan had been removed from the site. Staff has requested that the applicant bring the proposed property into conformance with this approved landscape plan prior to the issuance of a Certificate of Occupancy (CO) for the office building. Another aspect of the property that is not in compliance with the City's current codes is the location of the dumpster enclosure. Staff has requested that the applicant consider removing this and constructing a dumpster enclosure at the rear of the property; however, this is considered to be a legally non-conforming structure and the applicant is not required to move this structure.

Attached to this memorandum is a full list of staff's comments for this case. Should the Planning and Zoning Commission choose to approve this case, staff is proposing the following conditions of approval:

- (1) The applicant will be required to provide two (2) canopy trees that are a minimum of four (4) inches in DBH, and six (6) accent trees that are a minimum of four (4) feet in height prior to the issuance of a building permit (*see attached comments*);
- (2) The applicant shall submit a photometric plan or a letter stating that no new exterior light fixtures will be installed on the site prior to the issuance of a building permit;
- (3) The applicant will need to obtain a building permit prior to commencing the renovations to the exterior of the building; and
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: SP2020-029
 PROJECT NAME: Amended Site Plan for 560 E. IH-30
 SITE ADDRESS/LOCATIONS: 560 E INTERSTATE 30, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
 CASE MANAGER PHONE: 972-772-6438
 CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Jason Potts of Cambridge Court, LLC for the approval of an Amended Site Plan to convert an existing restaurant into an office building on a 1.346-acre tract of land identified as Lot 16, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated with the IH-30 Overlay (IH-30 OV) District, addressed as 560 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	10/23/2020	Approved w/ Comments

10/23/2020: SP2020-029; Site Plan for 560 E. IH-30

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Amended Site Plan to convert an existing restaurant into an office building on a 1.346-acre tract of land identified as Lot 16, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated with the IH-30 Overlay (IH-30 OV) District, and addressed as 560 E. IH-30.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (SP2020-029) in the lower right-hand corner of all pages on future submittals.
- M.4 Staff has reviewed the approved landscape plan and determined that the site is missing two (2) canopy trees (i.e. Southern Live Oaks) and six (6) accent trees (i.e. Dwarf Buford Holly). These trees will need to be replaced prior to the issuance of a Certificate of Occupancy (CO).
- I.5 Please note that the dumpster enclosure built with this building is considered to be legally non-conforming as it currently is situated adjacent to the frontage road and encroaches into the front yard building setback. This structure should be brought into conformance by moving it to the rear of the subject property and facing the doors away from any public rights-of-way; however, this is not a requirement of this request.
- M.6 Please provide a Photometric Plan or a letter stating that no new exterior light fixtures will be installed on the site.
- M.7 Prior to being released to submit a building permit a final copy of all site plan materials shall be submitted and shall have the required signature block on each page. This will have to be signed by the Director of Planning and Zoning and the Chairman of the Planning and Zoning Commission. A copy of the required signature block is in the development application packet.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Please make revisions for this case as soon as possible. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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BUILDING	Rusty McDowell	10/22/2020	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	10/21/2020	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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GIS	Lance Singleton	10/21/2020	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Ed Fowler	10/22/2020	Approved w/ Comments
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10/22/2020: • Consider ground wash lighting or directional lights in the grass areas on the edges of the parking lots and shrubs to eliminate any shadows or areas that a person might be capable of hiding.

- Consider directional lighting at the front of business (West Side) where the wrought iron fence is in place.
- Consider replacing all exiting exterior lighting building and use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) to provide a light of sight for anyone who may be hiding inside the area.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for the rear and South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business.
- Considering clearing brush especially on the South side of the business and trimming existing trees up to 7' and any additional bushes trimmed down to 3'.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

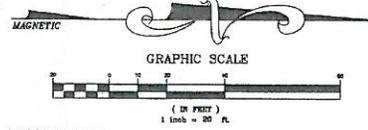
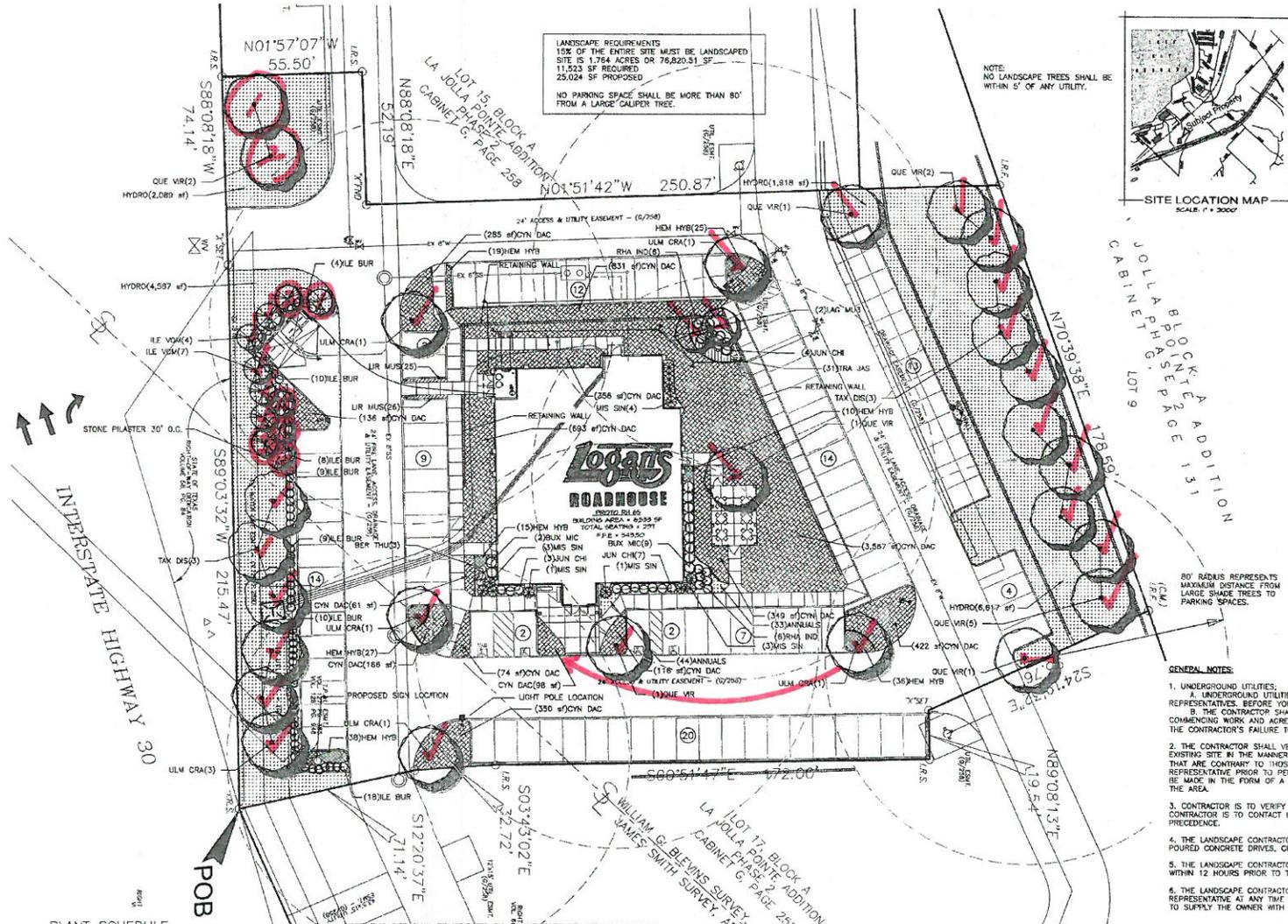
The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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PARKS	Ryan Miller	10/23/2020	N/A
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No Comments

6 = ACCENT TREES (4' IN HEIGHT)
 2 = CANOPY TREES (4-INCH CALIPER)



LANDSCAPE NOTES:

1. PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF THE PLANTS.
2. PLANTING BEDS SHALL BE CLEARED OF ALL GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS, INCLUDING SPRAYING "ROUND-UP" OR APPROVED SUBSTITUTE TO KILL ACTIVELY GROWING PLANTS. PLANT BEDS SHALL BE PREPARED AS CALLED FOR IN THE SPECIFICATIONS.
3. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED OR SOILED AS PER THE PLANS. ADDITIONAL SEEDING OR SOILING, IF REQUIRED, WILL BE AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
4. PLANTING BEDS SHALL HAVE A FOUR (4) INCH SHIRTSOED HARDWOOD BARK MULCH OVER THE ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
5. PRIOR TO PLANTING, ALL PLANTED AREAS SHALL BE TREATED WITH A WATER-SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
6. ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH A PLANTING SOIL MIXTURE OF ONE (1) PART PEAT MOSS, THREE (3) PARTS NATIVE OR APPROVED TOPSOIL, AND ONE (1) PART SAND, THOROUGHLY MIXED. SAMPLES OF MIXTURE TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. PLANT GROUNDCOVER AND ANNUAL BEDS IN SAME MIXTURE AS SHRUBS. AFTER PLANTING & MULCHING, WATER AREAS TO POINT OF SATURATION.
8. ALL PLANTED AREAS ARE TO BE FERTILIZED WITH GRANULAR FERTILIZER. LANDSCAPE CONTRACTOR IS TO PROVIDE SOIL TEST RESULTS AND PROMISED FERTILIZER APPLICATION RATES TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PLANTING.
9. ALL PLANT MATERIAL IS TO BE NURSERY GROWN AND TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-CURRENT EDITION).
10. SHRUB TREES AND SHRUBS WITH AN ANTI-DESICANT IF FOLIAGE IS PRESENT.
11. EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN THE SAME MANNER AS DECIDUOUS MATERIAL IS PLANTED.
12. DO NOT PRUNE ANY PLANT MATERIAL UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
13. ALL LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION. MATERIALS MAY BE VIEWED AT LANDSCAPE CONTRACTOR'S HOLDING SITE OR AT THIS SITE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE AVAILABILITY OF THE MATERIALS TO BE INSPECTED.
14. ALL MATERIALS INSPECTED ON THE SITE AND FOUND TO BE UNSATISFACTORY SHALL BE REMOVED FROM THE SITE ON THE DAY OF INSPECTION.
15. FIELD CHANGES MUST BE APPROVED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
16. EXISTING PLANT MATERIAL IS TO BE EVALUATED BY THE LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION ON SITE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT FORTY-EIGHT (48) HOURS BEFORE BEGINNING WORK.
17. ALL PLANT MATERIAL SHALL BE SUPPLIED BY APPROPRIATE SOURCES TO PREVENT UNLIE STRESS OR PROLONGED ACCLIMATIZATION WHICH WOULD INHIBIT PLANT GROWTH.
18. LANDSCAPE CONTRACTOR IS TO VERIFY PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST. IF DISCREPANCIES OCCUR, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
19. IF NO METAL EDGING IS TO BE USED (SEE PLANS), PROVIDE 4" DEEP CONTINUOUS MULCHED TRENCH 1/2 DOSE BETWEEN BED & TURF. LOCATE 1" FROM DRIPLINE OF OUTER ROW OF SHRUBS, OR AT EDGE OF GROUNDCOVER.

GENERAL NOTES:

1. UNDERGROUND UTILITIES:
 - A. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL TEXAS ONE CALL SYSTEM 1-800-245-4545.
 - B. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND ACCEPTS TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
2. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVED. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
3. CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON PLAN AND IN LIST. IF DISCREPANCIES OCCUR, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
4. THE LANDSCAPE CONTRACTOR WILL BE HELD FINANCIALLY LIABLE FOR ANY DAMAGE CAUSED TO NEWLY POURED CONCRETE DRIVERS, CURBS, OR SIDEWALKS BY THE INSTALLATION OF THE IRRIGATION SYSTEM.
5. THE LANDSCAPE CONTRACTOR IS TO PERFORM A THOROUGH CLEANUP AND QUALITY CONTROL INSPECTION WITHIN 12 HOURS PRIOR TO THE V.P. GRAND OPENING OF THE ESTABLISHMENT.
6. THE LANDSCAPE CONTRACTOR IS SUBJECT TO RANDOM INSPECTIONS BY THE OWNER AND/OR OWNER'S REPRESENTATIVE AT ANY TIME DURING THE INSTALLATION PROCESS. THE CONTRACTOR MAY ALSO BE REQUIRED TO SUPPLY THE OWNER WITH A COMPLETE SET OF PHOTOGRAPHS PRIOR TO PAYMENT.

PLANT SCHEDULE

TREES	QTY	BOTANICAL	COMMON	SIZE	CAL	HT	REMARKS	SHRUBS	QTY	BOTANICAL	COMMON	SIZE	SPREAD	SEASON	REMARKS	
ILE VOM	11	ILEX VOMITORIA	COMMON YALPOM HOLLY	6" MIN	1" CAL	10'	MULTI-TRUNK, 3 CANES	MIS SN	12	BOTANICAL	COMMON	12"	18"	AS SHOWN	FULL PLANT	
LAC MUS	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MULTI-TRUNKED MUSKOGEE CRAPE MYRTLE	9 & 8	1" CAL	10'	MIN. 3 CANES, MATCHED TREES	RHA IND	12	RHAPHIDOLEPIS INDICA 'CLARA'	CLARA INDIAN Hawthorne SHRUB	CONT	12"	18"	30" O.C.	FULL PLANT
QUE VR	13	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	9 & 8	4" CAL	16'	18"	MATCHED TREES, STRAIGHT TRUNK	GROUND COVERS	QTY	BOTANICAL	COMMON	4"	7"	12" OC	REMARKS
TAX DIS	6	TAXODIUM DISTICHUM	BALD CYPRESS	9 & 8	4" CAL	16'	18"	MATCHED TREES, STRAIGHT TRUNK	ANNUALS	77	BOTANICAL	COMMON	4"	7"	12" OC	CHOOSE FROM LIST BY SEASON
ULM CRA	8	ULMUS CRASSIFOLIA	CEDAR ELM	9 & 8	4" CAL	16'	18"	MATCHED TREES	CYN DAC	7,504 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD			LAY WITHIN 36 HOURS OF CUTTING
SURBUS	QTY	BOTANICAL	COMMON	QTY	SPREAD	SEASON	REMARKS	HEM HYB	170	HEMERICALLIS HYBRID 'STELLA DE ORD'	STELLA DE ORD DAYLILY	1 GAL	18"	OC	FULL PLANT	
BER THU	3	BOTANICAL	COMMON	CONT	12"	MIN HT	30" O.C.	ULM CRA(1)	51	LIRIOPE MUSCARI 'MAJESTIC'	MAJESTIC LIRIOPE	4"	7"	12" OC	FULL PLANT	
BUX MIC	11	BUXUS MICROPHYLLA 'GREEN VELVET'	GREEN VELVET BOXWOOD	9 & 8	2"	24"	MIN HT	TRAJAS	31	TRACHELOSPERNUM JASMINOIDES	STAR JASMINE	4"	7"	18" OC	EVERGREEN	
ILE BUR	68	ILEX CORNUTA 'BURFORDI NANA'	DWARF BURFORD HOLLY	9 & 8	30"	MIN. HT.	48" OC	HYDROSEED	QTY	BOTANICAL	COMMON	CONT	SEED		REMARKS	
JUN CH	14	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	COMPACTA PFITZER	9 & 8	2"	24"	MIN. SPREAD	13,211 SF	13,211 SF	BOTANICAL	COMMON	CONT	SEED		REMARKS	

NOTE: THIS SITE SHALL BE IRRIGATED BY AN UNDERGROUND SPRINKLER SYSTEM.

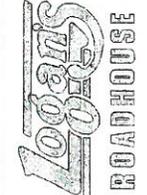
NOTE: APPROXIMATELY 122 LF OF PERMALOC OLEANLINE ALUMINUM EDGING IS TO BE USED AROUND BUILDING LANDSCAPE ONLY. PERIMETER LANDSCAPE IS TO BE TRENCH EDGING. SEE SHEET LP3 FOR EDGING DETAILS.

ANNUAL LIST:

- Spring - Raney
- Summer - Raney
- Fall - Chrysanthemum, Ornamental Kale
- Winter - Ornamental Kale



3011 Arroyo Dr., Suite 300
 Nashville, Tennessee 37204
 Phone: (615) 285-4056



Location:
 I-30 FRONTAGE ROAD
 ROCKHALL, TEXAS

Job Number:
 LA# CD14B
 Revisions:
 1 07-25-08
 2 08-25-08
 3 08-25-08

2008 027

LP1
 Site Landscape Plan
 July 10, 2008
 PROJ0 RH68



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 560 E I30 ROCKWALL, TX 75032

Subdivision _____

Lot _____

Block _____

General Location OLD LOGAN'S ROADHOUSE LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RETAIL/RESTAURANT

Current Use RETAIL

Proposed Zoning RETAIL

Proposed Use RETAIL

Acreage _____

Lots [Current] _____

Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner JASON POTTS

Applicant TRITON GENERAL CONTRACTOR

Contact Person JASON POTTS

Contact Person MEG MURPHY

Address 1160 HORIZON RD

Address 609 S GOLIAD ST #1101

City, State & Zip ROCKWALL, TX 75032

City, State & Zip ROCKWALL, TX 75032

Phone 972-771-0650

Phone 469-931-2267

E-Mail JASON.POTTS@LIFETIMEWM.COM

E-Mail MMURPHY@TRITONGC.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JASON POTTS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20 day of OCTOBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested in response to a request for public information."

Given under my hand and seal of office on this the 20 day of OCTOBER, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 5.10.24



SP2020-029- AMENDED SITE PLAN FOR 560E. IH-30
 AMENDED SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/20/2020

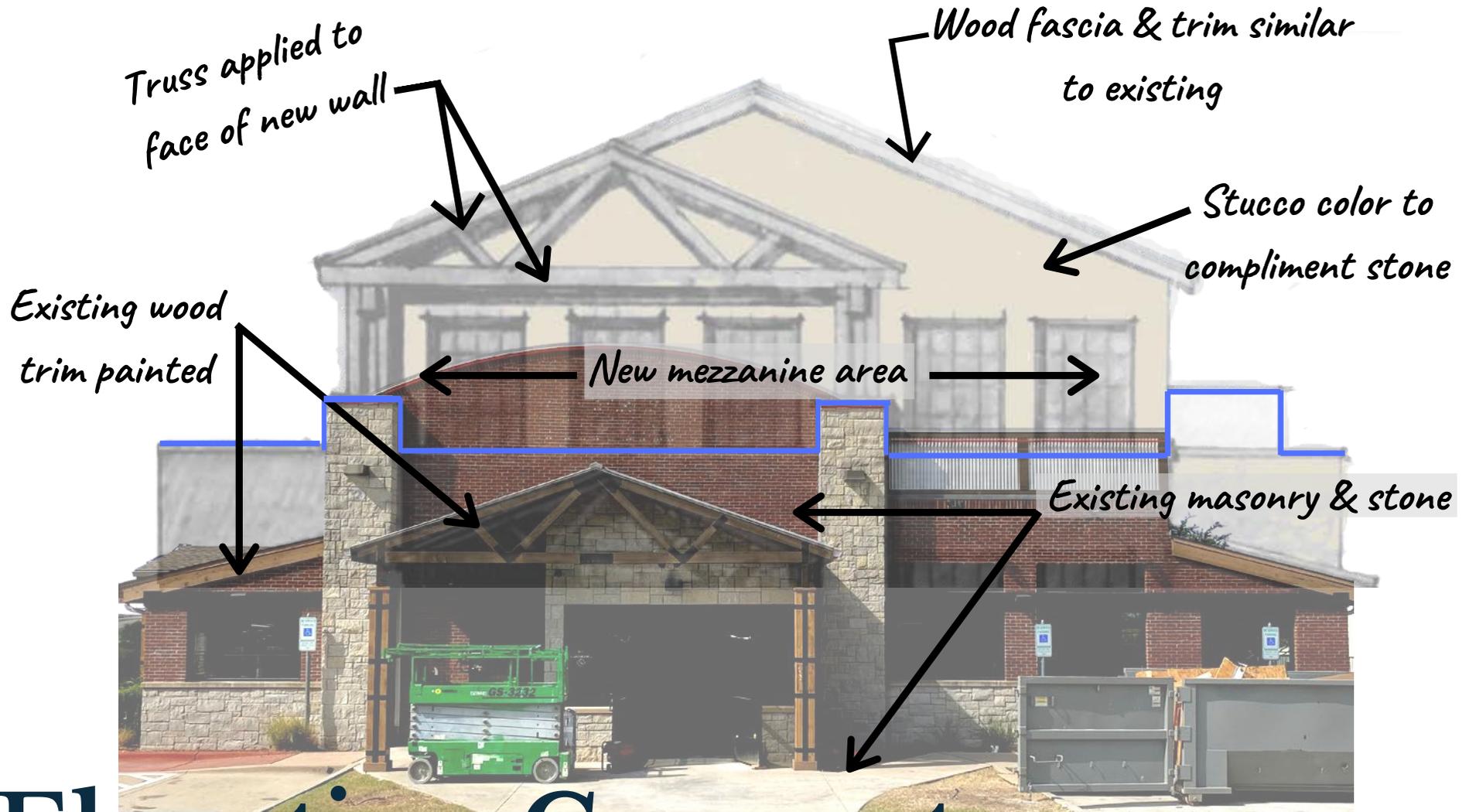
Ryan,

Attached you will find a "crude", yet accurate landscape plan for the property located at 560 E I-30. The former Logan's Roadhouse. I have also attached picture for your reference. For the open areas in the beds we will have seasonal color but don't plan on adding any additional material unless staff has further requirements or recommendations.

As far as us keeping the property up to standards, Anna and I have been on the Rockwall County Master Gardeners tour two separate years. We have already had all the trees pruned and overgrown areas behind the building backing up to the hotel have been cleaned and trimmed.

Please feel free to reach out should you need additional information,

Jason Potts, Manager
LOTL Holdings, LLC.
214-662-8803
Jason.potts@lifetimewm.com

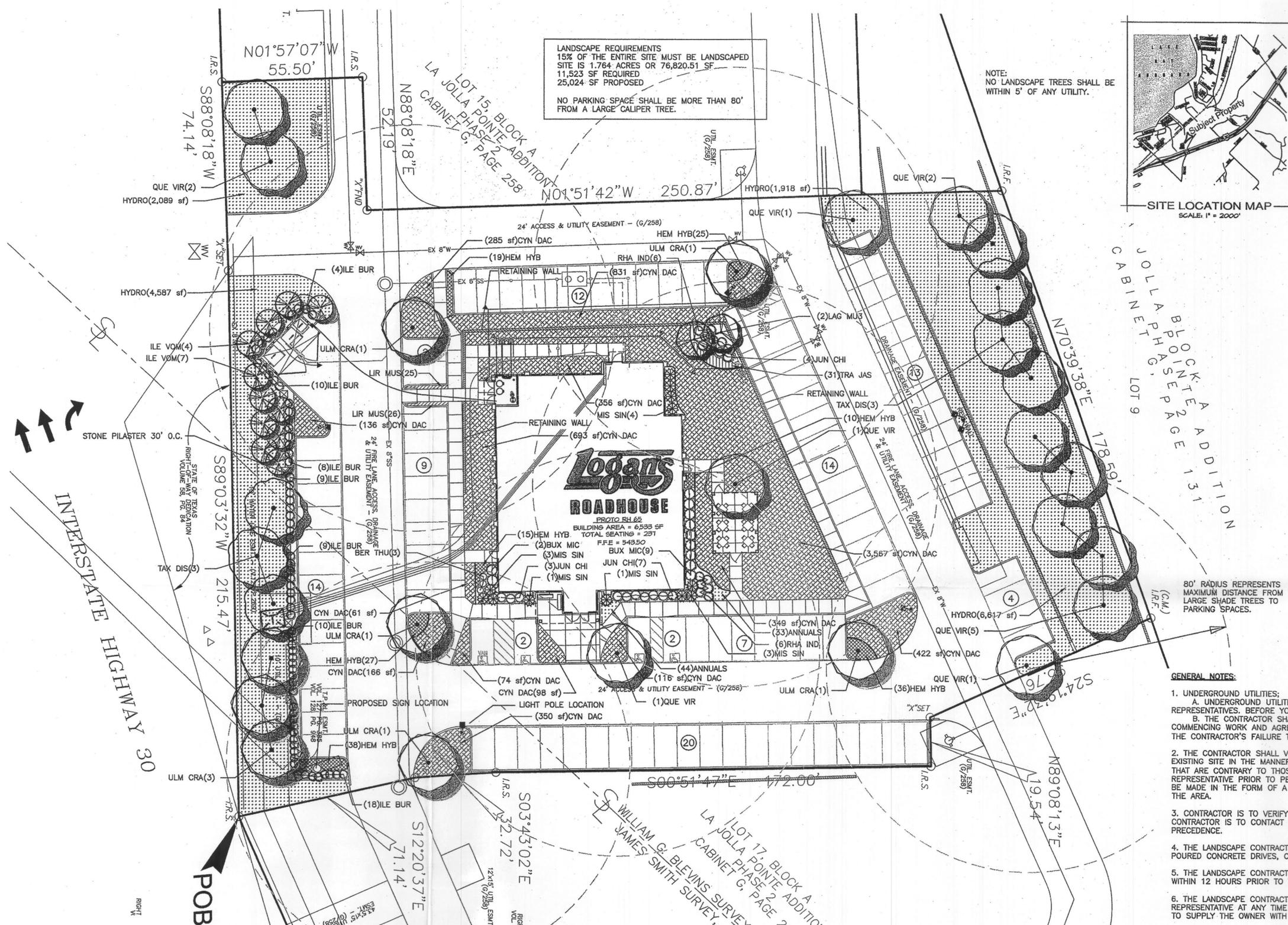


East Elevation Concept





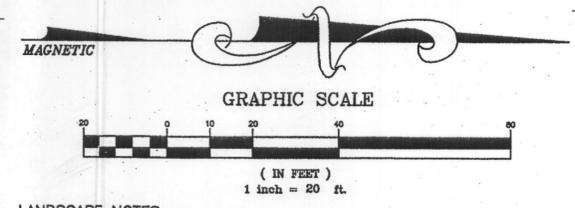
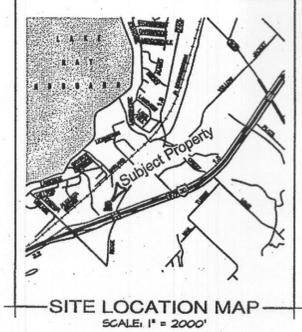




LANDSCAPE REQUIREMENTS
 15% OF THE ENTIRE SITE MUST BE LANDSCAPED
 SITE IS 1.764 ACRES OR 76,820.51 SF
 11,523 SF REQUIRED
 25,024 SF PROPOSED

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A LARGE CALIPER TREE.

NOTE:
 NO LANDSCAPE TREES SHALL BE WITHIN 5' OF ANY UTILITY.



- LANDSCAPE NOTES:**
1. PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF THE PLANTS.
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 6. ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH A PLANTING SOIL MIXTURE OF ONE (1) PART PEAT MOSS, THREE (3) PARTS NATIVE OR APPROVED TOPSOIL AND ONE (1) PART SAND, THOROUGHLY MIXED. SAMPLE OF MIXTURE TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 7. PLANT GROUNDCOVER & ANNUAL BEDS IN SAME MIXTURE AS SHRUBS. AFTER PLANTING & MULCHING, WATER AREAS TO POINT OF SATURATION.
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 10. SPRAY TREES AND SHRUBS WITH AN ANTI-DESICCANT IF FOLIAGE IS PRESENT.
 11. EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN THE SAME MANNER AS DECIDUOUS MATERIAL IS PLANTED.
 12. DO NOT PRUNE ANY PLANT MATERIAL UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 13. ALL LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION. MATERIALS MAY BE VIEWED AT LANDSCAPE CONTRACTOR'S HOLDING SITE OR AT THIS SITE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE AVAILABILITY OF THE MATERIALS TO BE INSPECTED.
 14. ALL MATERIALS INSPECTED ON THE SITE AND FOUND TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE SITE ON THE DAY OF INSPECTION.
 15. FIELD CHANGES MUST BE APPROVED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
 16. EXISTING PLANT MATERIAL IS TO BE EVALUATED BY THE LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION ON SITE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT FORTY-EIGHT (48) HOURS BEFORE BEGINNING WORK.
 17. ALL PLANT MATERIAL SHALL BE SUPPLIED BY APPROPRIATE SOURCES TO PREVENT UNDUE STRESS OR PROLONGED ACCLIMATIZATION WHICH WOULD INHIBIT PLANT GROWTH.
 18. LANDSCAPE CONTRACTOR IS TO VERIFY PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST. IF DISCREPANCIES OCCUR, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
 19. IF NO METAL EDGING IS TO BE USED (SEE PLANS), PROVIDE 4" DEEP CONTINUOUS MULCHED TRENCH AT EDGE BETWEEN BED & TURF. LOCATE 6" FROM DRIPLINE OF OUTER ROW OF SHRUBS, OR AT EDGE OF GROUNDCOVER.

- GENERAL NOTES:**
1. UNDERGROUND UTILITIES:
 A. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL TEXAS ONE CALL SYSTEM 1-800-245-4545.
 B. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 2. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
 3. CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON PLAN AND IN LIST. IF DISCREPANCIES OCCUR, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
 4. THE LANDSCAPE CONTRACTOR WILL BE HELD FINANCIALLY LIABLE FOR ANY DAMAGE CAUSED TO NEWLY POURED CONCRETE DRIVES, CURBING, OR SIDEWALKS BY THE INSTALLATION OF THE IRRIGATION SYSTEM.
 5. THE LANDSCAPE CONTRACTOR IS TO PERFORM A THOROUGH CLEANUP AND QUALITY CONTROL INSPECTION WITHIN 12 HOURS PRIOR TO THE V.I.P. GRAND OPENING OF THE RESTAURANT.
 6. THE LANDSCAPE CONTRACTOR IS SUBJECT TO RANDOM INSPECTIONS BY THE OWNER AND/OR OWNER'S REPRESENTATIVE AT ANY TIME DURING THE INSTALLATION PROCESS. THE CONTRACTOR MAY ALSO BE REQUIRED TO SUPPLY THE OWNER WITH A COMPLETE SET OF PHOTOGRAPHS PRIOR TO PAYMENT.

PLANT SCHEDULE

TREES	QTY	BOTANICAL	COMMON	CONT	CAL	SIZE	REMARKS	SHRUBS	QTY	BOTANICAL	COMMON	CONT	SPREAD	SPACING	REMARKS
ILE VOM	11	ILEX VOMITORIA	YAUPON HOLLY	B&B	1" CAL	6" MIN	MULTI-TRUNK, 3 CANES	MIS SIN	12	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT	36" MIN HT	AS SHOWN	FULL PLANT
LAG MU3	2	LAGERSTROEMIA INDICA 'MUSKOGEE'	MULTI-TRUNKED MUSKOGEE CRAPE MYRTLE	B&B	1" CAL	10" MIN HT	MIN. 3 CANES, MATCHED TREES	RHA IND	12	RHAPHIOLEPIS INDICA 'CLARA'	CLARA INDIAN HAWTHORNE SHRUB	CONT	12"-18" MIN	30" O.C.	FULL PLANT
QUE VIR	13	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B&B	4" CAL	16"-18" HT	MATCHED TREES, STRAIGHT TRUNK	ANNUALS	77	COMMON ANNUALS	COMMON	CONT	4" POT @ 12" OC		REMARKS CHOOSE FROM LIST BY SEASON
TAX DIS	6	TAXODIUM DISTICHUM	BALD CYPRESS	B&B	4" CAL	16"-18" HT	MATCHED TREES, STRAIGHT TRUNK	CYN DAC	7,504 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD			LAY WITHIN 36 HOURS OF CUTTING
ULM CRA	8	ULMUS CRASSIFOLIA	CEDAR ELM	B&B	4" CAL	16"-18" HT	MATCHED TREES	HEM HYB	170	HEMEROCALLIS HYBRID 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL @ 18" OC			FULL PLANT
SHRUBS	QTY	BOTANICAL	COMMON	CONT	SPREAD	SPACING	REMARKS	LIR MUS	51	LIRIOPE MUSCARI 'MAJESTIC'	MAJESTIC LIRIOPE	4" POT @ 12" OC			FULL PLANT
BER THU	3	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	CONT	12" MIN HT	30" O.C.	FULL PLANT	TRA JAS	31	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	4" POT @ 18" OC			EVERGREEN
BUX MIC	11	BUXUS MICROPHYLLA 'GREEN VELVET'	GREEN VELVET BOXWOOD	B & B	24" MIN HT	48" OC	FULL PLANT	HYDROSEED	QTY	BOTANICAL	COMMON	CONT			REMARKS
ILE BUR	68	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	B & B	30" MIN. HT.	48" OC	FULL PLANT	HYDRO	15,211 SF	CYNODON DACTYLON	BERMUDA GRASS	CONT			
JUN CHI	14	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	COMPACTA PFITZER	B & B	24" MIN. SPREAD	48" OC	FULL PLANT								

NOTE: APPROXIMATELY 122 LF OF PERMALOC CLEANLINE ALUMINUM EDGING TO BE USED AROUND BUILDING LANDSCAPE ONLY. PERIMETER LANDSCAPE IS TO BE TRENCH EDGING. SEE SHEET LP3 FOR EDGING DETAILS.

ANNUAL LIST:
 Spring - Pansy
 Summer - Begonia, Salvia, Marigold, Impatiens, Verbena
 Fall - Chrysanthemum, Ornamental Kale
 Winter - Ornamental Kale

RECEIVED
 SEP 03 2008
 FILE COPY

LA
 LOSE & ASSOCIATES, INC.
 1914 6th Avenue North, Suite 200
 Nashville, TN 37208
 (615) 248-0040



3011 Armory Dr., Suite 300
 Nashville, Tennessee 371204
 Phone: (615) 885-9056

Logan's ROADHOUSE

Location:
 I-30 FRONTAGE ROAD
 ROCKWALL, TEXAS

Job Number:
 LA# 08148
 Revisions:
 1 07-21-08
 2 08-25-08
 3 04-02-08

2008 027
 LP1
 Site Landscape Plan
 July 10, 2008
 PROTO RH65

LA JOLLA POINTE
ADDITION
PHASE 2
CABINET G, PAGE 258
OPR. CT

N 70°39'38" E

BLOCK A

LOT 16

WILLIAMS
ABSTRACT NO. 9
SURVEY

N 89°08'13" E
19.54'

- Palms
- Grasses
- Yucca
- Boxwoods
- Holly Shrubs
- Yaupon Holly
- Multi-trunk
- Cedar Elm
- Oak
- Cyprus
- Cypress
- Tree

Cedar
Burford Holly
Shrubs

Boxwoods

Red Yucca

Burford
Holly shrubs

Mulch
Grasses

palm
Boxwoods

Burford
Holly shrubs

Multi-trunk Yaupon
Holly

Grass

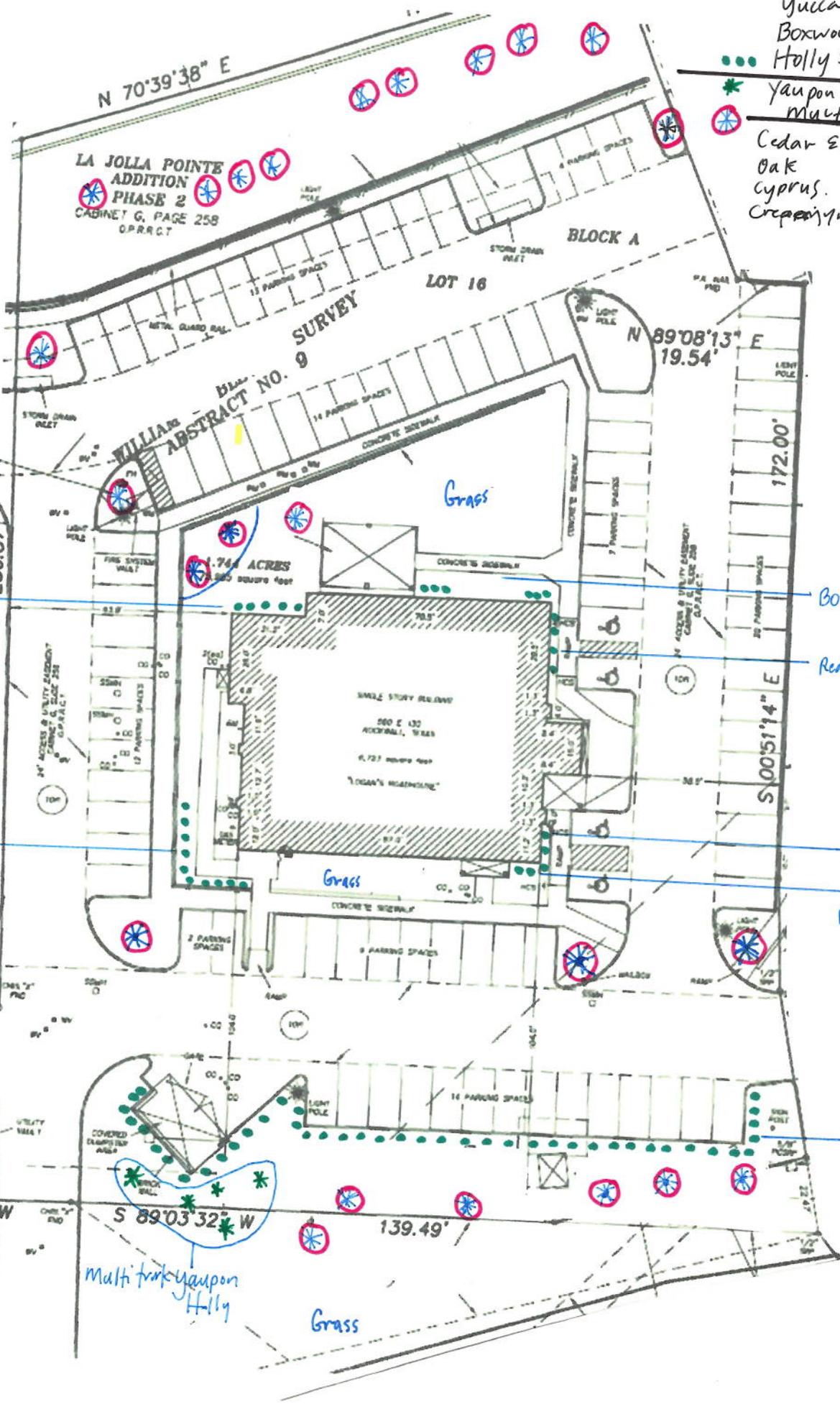
18" E
9'

S 89°03'32" W
74.14'

139.49'

172.00'

S 100°51'14" E

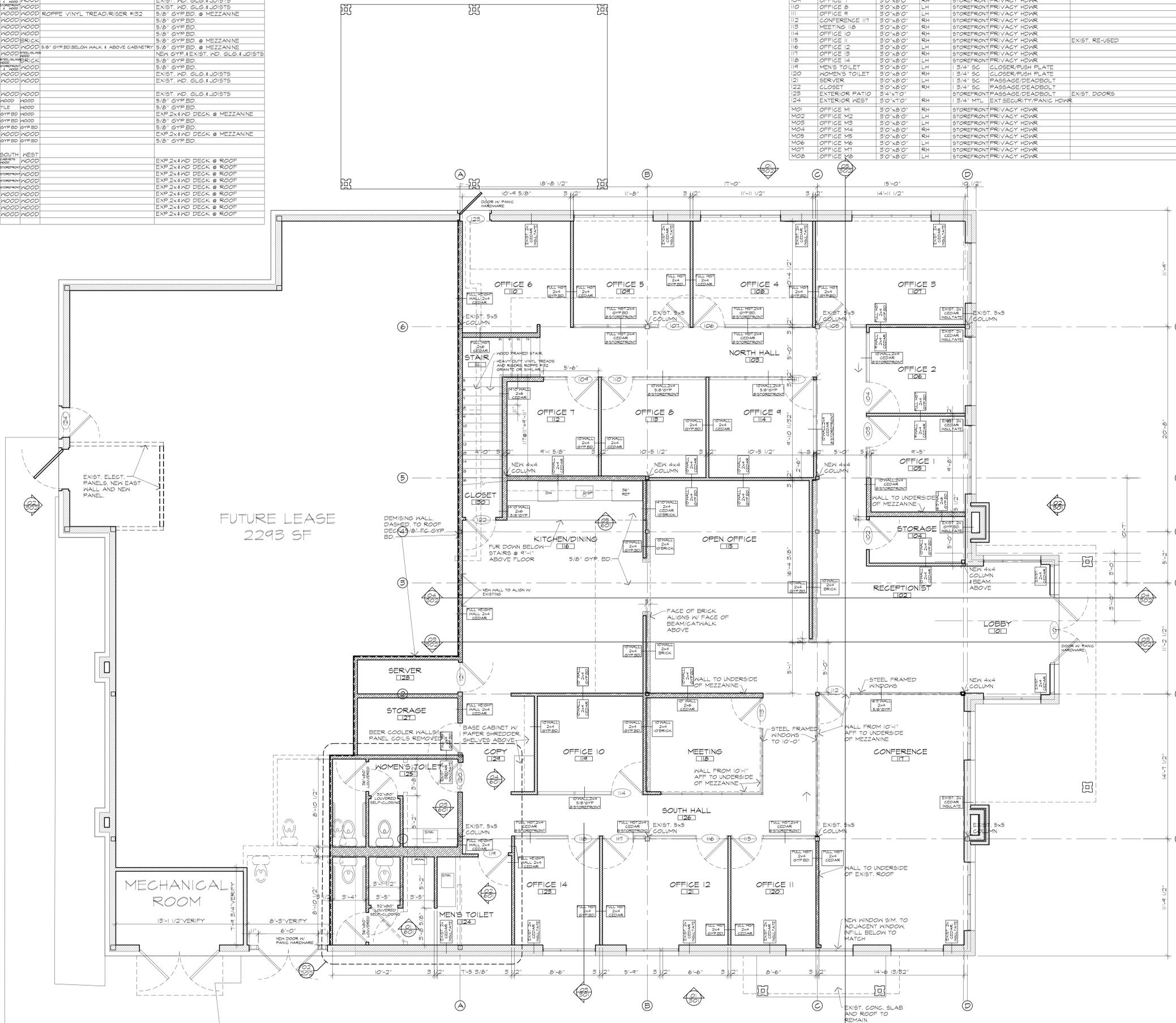


ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM	FLOOR FINISH	BASE	WALL FINISH	CEILING
101	LOBBY	VINYL TILE	WOOD TYP	WOOD/BRICK	EXIST. MD.
102	RECEPTIONIST	VINYL TILE	WOOD TYP	-	EXP 2x4 MD DECK @ MEZZANINE
103	NORTH HALL	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
104	STORAGE	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
105	OFFICE 1	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
106	OFFICE 2	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
107	OFFICE 3	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
108	OFFICE 4	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
109	OFFICE 5	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
110	OFFICE 6	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
111	STAIR	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
112	OFFICE 7	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
113	OFFICE 8	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
114	OFFICE 9	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
115	OPEN OFFICE	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
116	KITCHEN/DINING	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
117	CONFERENCE	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
118	MEETING	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
119	OFFICE 10	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
120	OFFICE 11	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
121	OFFICE 12	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
122	NOT USED	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
123	OFFICE 14	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
124	MEN'S TOILET	FORCELAIN TILE	TILE	WOOD	5/8" GYP BD.
125	WOMEN'S TOILET	FORCELAIN TILE	TILE	WOOD	5/8" GYP BD.
126	SOUTH HALL	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
127	STORAGE	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
128	SERVER	CONCRETE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
129	COPY	VINYL TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
130	CLOSET	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ MEZZANINE
M01	COPY	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M02	OFFICE 1	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M03	OFFICE 2	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M04	OFFICE 3	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M05	OFFICE 4	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M06	OFFICE 5	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M07	OFFICE 6	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M08	OFFICE 7	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF
M09	OFFICE 8	CARPET TILE	WOOD TYP	WOOD/BRICK	EXP 2x4 MD DECK @ ROOF

DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR SIZE	DOOR SWING	DOOR TYPE	DOOR HARDWARE	NOTES
101	LOBBY	3'-4" x 10'-0"	LH	EXT./GLASS	SECURITY/DEADBOLT	EXIST. DOORS
102	OFFICE 1	3'-0" x 8'-0"	LH	STOREFRONT	PRIVACY HDNR	
103	OFFICE 2	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
104	OFFICE 3	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
105	OFFICE 4	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
106	OFFICE 5	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
107	OFFICE 6	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
108	NOT USED					
109	OFFICE 7	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
110	OFFICE 8	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
111	OFFICE 9	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
112	CONFERENCE 117	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
113	MEETING 118	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
114	OFFICE 10	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
115	OFFICE 11	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	EXIST. RE-USED
116	OFFICE 12	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
117	OFFICE 13	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
118	OFFICE 14	3'-0" x 8'-0"	LH	STOREFRONT	PRIVACY HDNR	
119	MEN'S TOILET	3'-0" x 8'-0"	LH	1 3/4" SC	CLOSER/PUSH PLATE	
120	WOMEN'S TOILET	3'-0" x 8'-0"	LH	1 3/4" SC	CLOSER/PUSH PLATE	
121	SERVER	3'-0" x 8'-0"	LH	1 3/4" SC	PASSAGE/DEADBOLT	
122	CLOSET	3'-0" x 8'-0"	RH	1 3/4" SC	PASSAGE/DEADBOLT	
123	EXTERIOR PATIO	3'-4" x 10'-0"	RH	1 3/4" SC	PASSAGE/DEADBOLT	EXIST. DOORS
124	EXTERIOR WEST	3'-0" x 10'-0"	RH	1 3/4" MTL	EXT SECURITY/PANIC HDNR	
M01	OFFICE M1	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M02	OFFICE M2	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M03	OFFICE M3	3'-0" x 8'-0"	LH	STOREFRONT	PRIVACY HDNR	
M04	OFFICE M4	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M05	OFFICE M5	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M06	OFFICE M6	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M07	OFFICE M7	3'-0" x 8'-0"	RH	STOREFRONT	PRIVACY HDNR	
M08	OFFICE M8	3'-0" x 8'-0"	LH	STOREFRONT	PRIVACY HDNR	



CORKER DESIGNS LLC
 9402 Peninsula Drive
 Dallas, Texas, 75218
 214 . 321 . 6121
 corkerdesigns.com

RELEASE DATE:
 OCTOBER 5, 2020
 PERMIT/CONST.REV.N
 REVISION:



LIFETIME CO'S OFFICES
 560 I-30
 Rockwall, Texas 75771

SEPTEMBER 8, 2020 PERMIT REVIEW
 SHEET NUMBER
2.01
 2nd FLOOR PLAN

PLAN NORTH TRUE NORTH
 01 FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"









HYATT PLACE

TAEKWONDO





HYATT PLACE



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 27, 2020
APPLICANT: James Best
CASE NUMBER: MIS2020-013; *Special Exception for 54 Shadydale Drive*

SUMMARY

Discuss and consider a request by James Best for the approval of a Special Exception to the material standards for residential fences to allow the construction of a masonry screening wall on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

BACKGROUND

The subject property was platted on July 30, 1968 as Lots 1 & 2, Block B, Highland Acres Addition. In 1980, a 2,475 SF single-family home was constructed on Lot 1, Block B, Highland Acres Addition, which was addressed as 10 Shadydale Lane. On January 9, 1984, the City Council annexed a portion of the subject property (*i.e. Lot 1, Block B, Highland Acres Addition*) by approving *Ordinance No. 84-05 [Case No. A1984-001]*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. In 1986, a 4,068 SF single-family home was constructed on Lot 2, Block B, Highland Acres Addition, which was addressed as 3189 S. Ridge Road. On January 3, 1989, this portion of the subject property was annexed by the City Council through the adoption of *Ordinance No. 88-67*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District.

On May 15, 1989, the subject property -- *along with the remaining properties in the Highland Acres Addition* -- were rezoned from an Agricultural (AG) District to a Single-Family 16 (SF-16) District by *Ordinance No. 89-13 [Case No. PZ1989-001]*. The single-family home on Lot 2, Block B, Highland Acres Addition was demolished on April 30, 2007 by *Permit No. DEM2007-0016*. The subject property was replatted from Lots 1 & 2, Block B, Highland Acres Addition to Lot 1, Block A, Best Estates Addition by *Case No. P2018-032*. Following this plat, a permit [*i.e. BLD2019-2107*] to demolish the existing home (*i.e. the home on the previous Lot 1, Block B, Highland Acres Addition*) was issued on August 8, 2019. On August 3, 2020, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2020-023; S-228; Ordinance No. 20-26*] for *Residential Infill Adjacent to an Established Subdivision*. This Specific Use Permit (SUP) allows the applicant to build a 7,721 SF single-family home on the subject property. The applicant was issued a building permit [*RES2020-2306*] for the new home on August 16, 2020.

PURPOSE

The applicant is requesting approval of a special exception in accordance with Subsection 08.02(B), *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) for the purpose of permitting the construction of a six (6) foot tall pre-cast fence adjacent to the southern and western property boundaries in conjunction with a single-family home.

ADJACENT LAND USES AND ACCESS

The subject property is located at 54 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) parcels of land (*i.e. Lots 3 & 4, Block B, Highland Addition*) with two (2) single-family homes situated on them. These properties are zoned Single-Family 16 (SF-16) District. Beyond this is Phase 1 of the Fox Chase Subdivision, which was platted on January 16, 1989 and consists of 32

single-family homes. This subdivision is zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is Shady Dale Lane, which is identified R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) tracts of land (*i.e. Tracts 35 & 54 of the E. Teal Survey, Abstract No. 207*) with two (2) single-family homes situated on them. These properties are zoned Single-Family 16 (SF-16) District. South of these properties is the Benton Woods Subdivision, which was platted on January 13, 1993 and consists of 34 single-family homes. This subdivision is zoned Planned Development District 40 (PD-40) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the Shadydale Estates Subdivision, which was platted on March 5, 2014 and consists of 14 single-family homes. This subdivision is zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses. Beyond this is Phase 4 of the Fox Chase Subdivision, which was platted on February 22, 1995 and consists of 40 single-family homes. This subdivision is zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is Ridge Road [FM-740], which is identified as M4D (*i.e. minor collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is Phase 19 of the Chandler's Landing Subdivision, which was platted on June 27, 1985 and consists of 77 single-family residential lots. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses.

CHARACTERISTICS OF THE REQUEST:

According to Subsection 08.02(B), *Material Requirements*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), the "(p)ermitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (*i.e. with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish*), brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form liner ..."; however, Subsection 08.03(B), *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, of this same section, requires that all solid fencing for infill single-family properties "... be constructed utilizing standard cedar fencing materials ...". In this case, the applicant is proposing to construct a six (6) foot tall precast fence that will have posts on ten (10) foot centers. The proposed fence will be situated along the western or rear property line adjacent to the alleyway serving Phase 1 of the Foxchase Subdivision. The fence will also share a common lot line with 52 Shadydale Drive, which is a part of the Shadydale Estates Subdivision. At the front yard building line adjacent to Shadydale Drive -- *and which is shared by the subject property and 52 Shadydale Drive* -- the fence will turn west and extend 80-feet along this frontage. According to Subsection 08.03(B)(2), *Special Exceptions*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)he Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 08.02(B) (*e.g. vinyl or split rail fencing*) and/or alternative fence standards on a *case-by-case* basis." Staff is obligated to point out that there are no other solid screening fences in the area, and that the other estate properties fronting onto Ridge Road all appear to have transparent fencing (*i.e. picket, wrought iron, or split rail*); however, these types of requests are discretionary decisions for the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for a special exception to the permitted material requirements for fences, then staff would propose the following conditions of approval:

- (1) The applicant will be required to obtain a fence permit from the Building Inspections Department;
- (2) Any construction resulting from the approval of this special exception shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. M152020-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 54 Shady Dale Rockwall 75032

Subdivision Best Estate Lot _____ Block _____

General Location 2.6 acres corner of Shady Dale + Ridge Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential Current Use _____

Proposed Zoning Fence variance Proposed Use SAME

Acreeage 2.6 Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner <u>James Best</u>	<input type="checkbox"/> Applicant _____
Contact Person _____	Contact Person _____
Address <u>7235 S. Fm 549</u>	Address _____
City, State & Zip <u>Heath Tx 75032</u>	City, State & Zip _____
Phone <u>214-528-6060</u>	Phone _____
E-Mail <u>JBest@BestLawCenter.com</u>	E-Mail _____

NOTARY VERIFICATION [REQUIRED]

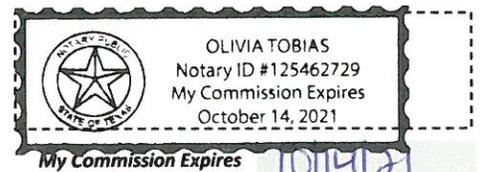
Before me, the undersigned authority, on this day personally appeared James Best [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100, to cover the cost of this application, has been paid to the City of Rockwall on this the 28 day of July, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 28 day of July, 2020

Owner's Signature _____

Notary Public in and for the State of Texas _____



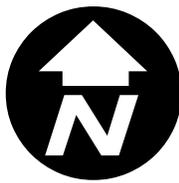
MIS2020-013- SPECIAL EXCEPTION FOR 54 SHADY DALE LANE
MISCELLANEOUS - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



BEST, WATSON & GILBERT, P.C.

ATTORNEYS AND COUNSELORS

Date: October 9, 2020

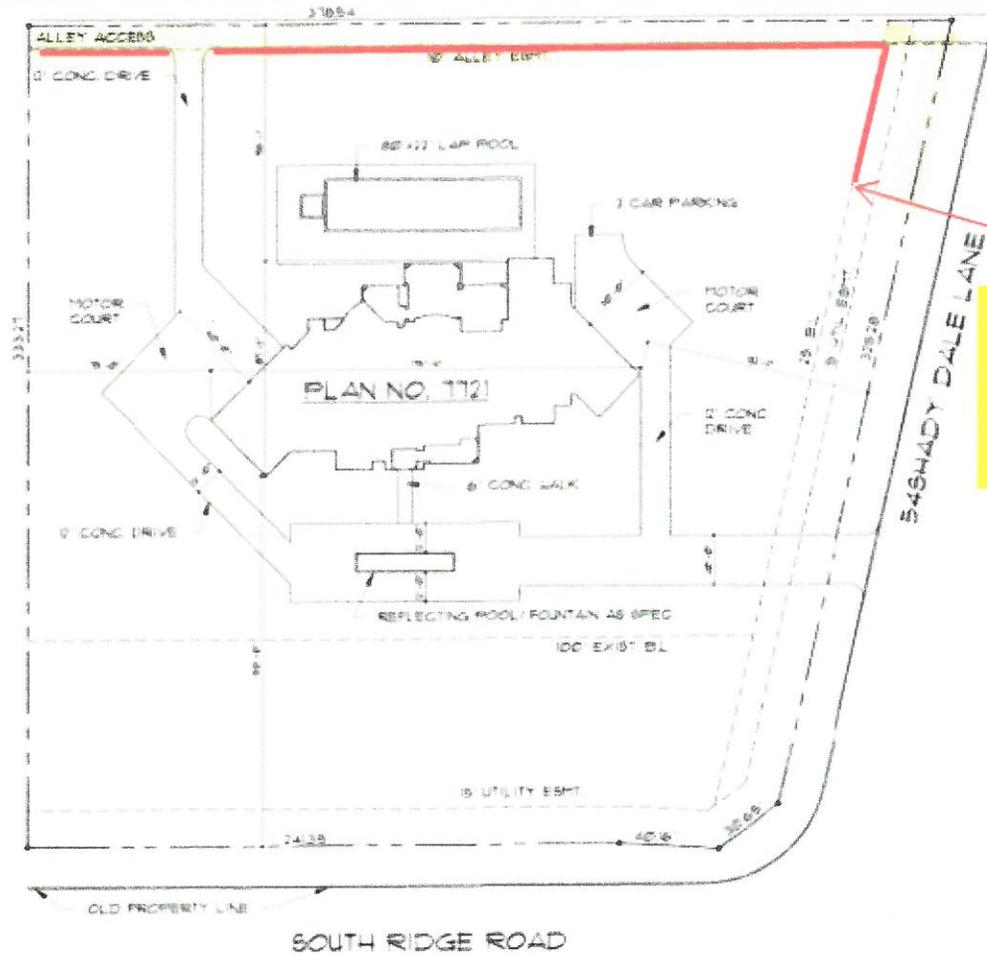
To: City of Rockwall
Planning & Zoning Department

Re: 54 Shady Dale
Rockwall, TX 75032

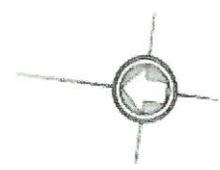
Variance Request:

Owner would like a variance to use an alternative fence material, i.e. a concrete cast fence. Cast concrete fence is more durable and requires less maintenance than cedar wood fences. Fence is at rear of property and 80 feet down Shady Dale Lane and will restrict views of swimming pool area and provide security.

Special Exceptions. The Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 8.02(B) (e.g. vinyl or split rail fencing) and/or alternative fence standards on a case-by-case basis.



WALL WOULD HAVE TO STOP AT THE BUILD LINE AND NOT BE LOCATED WITHIN ANY EASEMENTS INCLUDING THE ALLEY

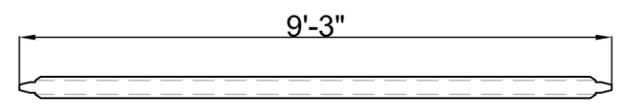


PLOT PLAN
 SCALE 1" = 10' 0"
 LOT #1, BLK 1A1
 BEST ESTATE ADDITION
 ROCKWALL, TEXAS
 PLAN NO. 1121

RICK SHIPLEY
 CUSTOM HOMES
 DESIGN, BUILD, MANAGE

BEST RESIDENCE
 54SHADY DALE LN, ROCKWALL, TX 75087
 LOT #1, BLK 1A1, BEST ESTATE ADDITION

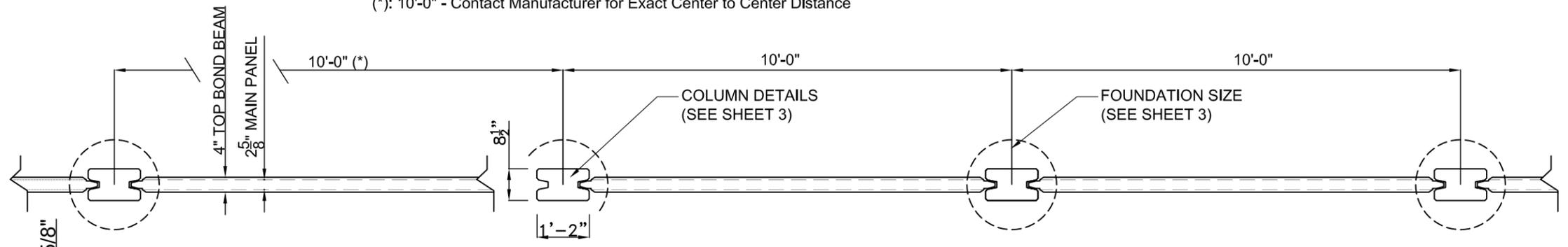
PLOT
 6 11



TYPICAL WALL PLAN VIEW

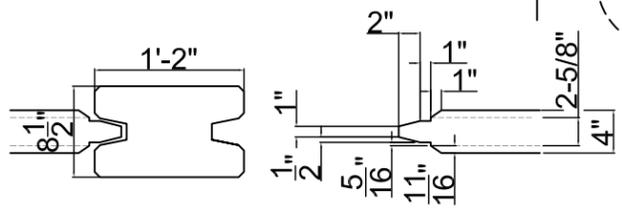
SCALE: NTS

(*): 10'-0" - Contact Manufacturer for Exact Center to Center Distance



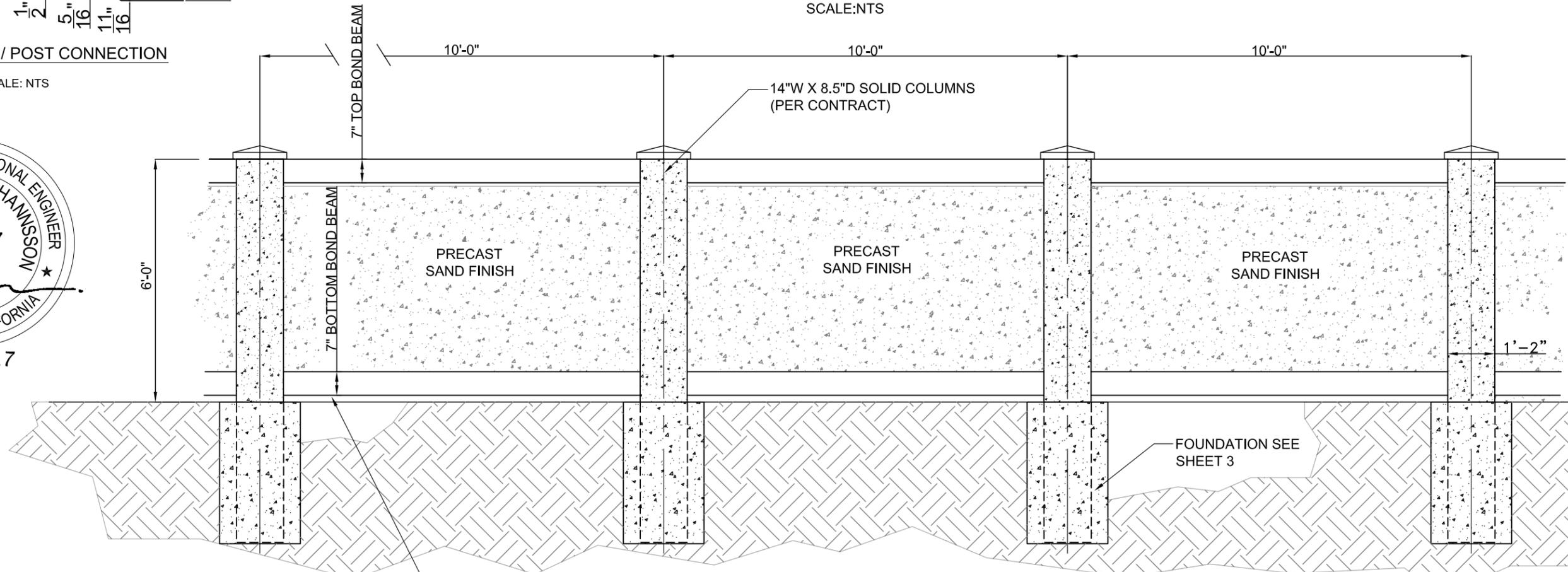
WALL PLAN VIEW - GENERAL DIMENSIONS

SCALE: NTS



TYPICAL PANEL / POST CONNECTION

SCALE: NTS



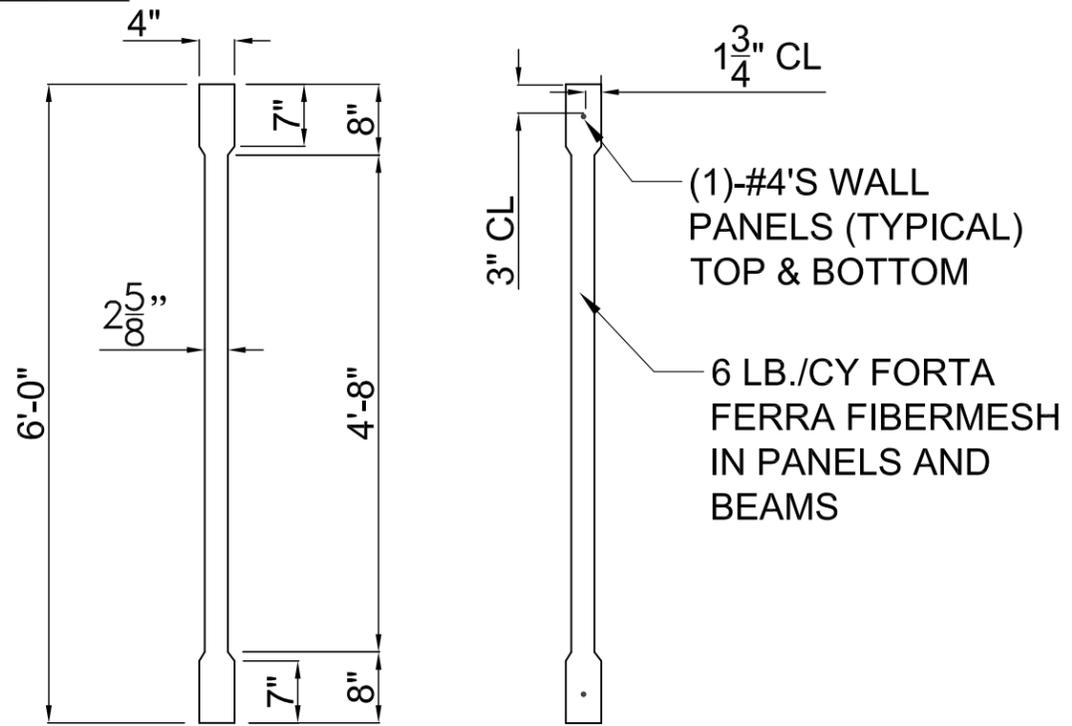
TYPICAL 6 FT. WALL ELEVATION - GENERAL DIMENSIONS

SCALE: NTS



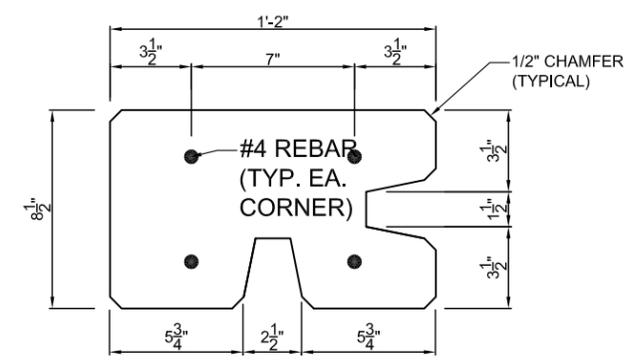
OWNER IS RESPONSIBLE FOR DRAINAGE PATTERN AROUND AND UNDERNEATH NEW FENCE.
ENGINEER IS NOT RESPONSIBLE FOR SITE DRAINAGE REQUIREMENTS.

PERMACAST PRECAST CONCRETE FENCE SACRAMENTO FIRE STATION #15 1640 WEST EL CAMINO AVE. SACRAMENTO, CA 95833 6' WALL GENERAL DIMENSIONS				Elias Runar Johannsson, P.E. 1201 East 3rd Street Tulsa, OK 74120 (Office) 918-518-1124			
REFERENCE DRAWINGS	NO.	DATE	REVISION	BY	CK	APP	P.O. BOX 1566 Valrico, FL 33595 Tel: 813.598.4643 (C) 813.741.2109 (O) 813.655.0061 (Fax)
	1						
	0						
THIS DRAWING IS THE PROPERTY OF JRMAR ENGINEERING, INC. AND IS LOANED SUBJECT TO THE CONDITION THAT IF IT IS NOT TO BE COPIED, REPRODUCED, OR DISTRIBUTED IN WHOLE OR IN PART, EXCEPT BY WRITTEN PERMISSION FROM JRMAR ENGINEERING, INC.				PLOT SCALE: AS NOTED ACTUAL SCALE: AS SHOWN		CAD FILE: Permacast Fencing DATE: RER 06-25-17 CHECK BY: RER 06-25-17 APP BY: RER 06-25-17	
						DISCIPLINE: CIVIL	SHEET: 2
						PROJECT:	REV: 0

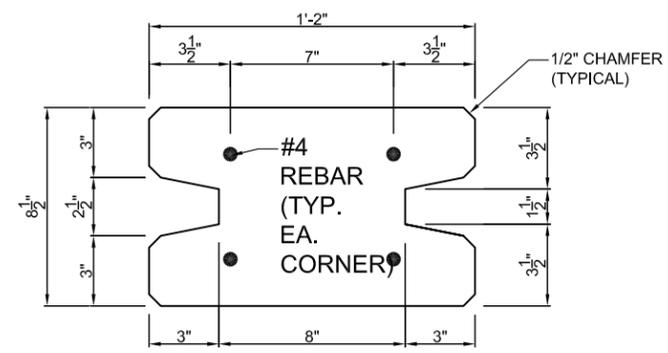


TYPICAL 6 ft. X 10 FT. PERMASAND PANEL

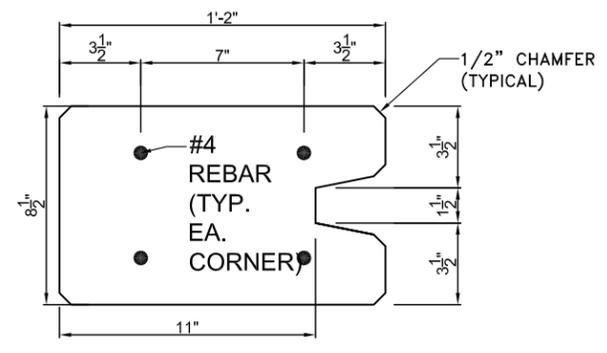
SCALE: NTS



CORNER SOLID POST DETAIL
8-1/2" X 14"



LINE SOLID POST DETAIL
8-1/2" X 14"

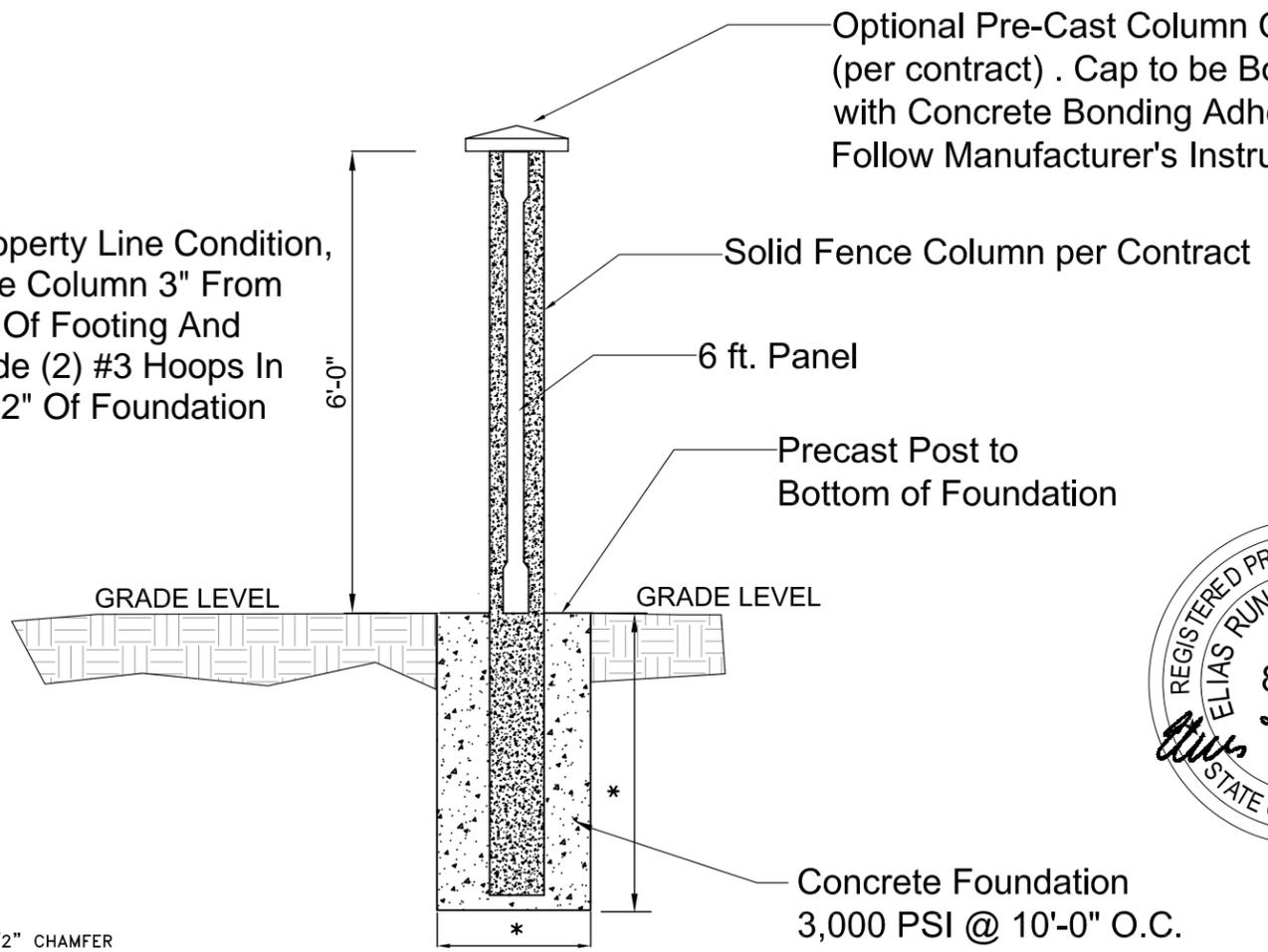


END SOLID POST DETAIL
8-1/2" X 14"

* Foundation Schedule

Wall Height	Foundation Diameter (Inches)	Foundation Depth (Inches)
STANDARD 1.0 6 ft. Wall Height on 10 ft. Centers	24" Diameter	46" Depth
	30" Diameter	44" Depth
	36" Diameter	42" Depth

At Property Line Condition, Locate Column 3" From Edge Of Footing And Provide (2) #3 Hoops In Top 12" Of Foundation Pier.



TYPICAL FOUNDATION for 6 FT. COLUMN FOR PERMASAND (10 FT. O/C)

SCALE: NTS



6/30/17

PERMACAST PRECAST CONCRETE FENCE SACRAMENTO FIRE STATION #15 1640 WEST EL CAMINO AVE. SACRAMENTO, CA 95833				Elias Runar Johannsson, P.E. 1201 East 3rd Street Tulsa, OK 74120 (Office) 918-518-1124			
FOUNDATION, PANEL, & COLUMN DETAILS				P.O. BOX 1566 Valrico, FL 33595 Tel: 813.598.4643 (C) 813.741.2109 (O) 813.655.0061 (Fax)			
NO.	DATE	REVISION	BY	CK	APP	DISCIPLINE: CIVIL	Sheet 3
1							0
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REFERENCE DRAWINGS				PROJECT: PERMACAST PRECAST CONCRETE FENCE			
NO. DATE REVISION BY CK APP				PLOT SCALE: AS NOTED			
1				CVD FILE: Permacast Fence.dwg			
0				DRAWN BY: RER 06-25-17			
				CHECK BY: RER 06-25-17			
				APP BY: RER 06-25-17			
				DATE: RER 06-25-17			
				PROJECT: PERMACAST PRECAST CONCRETE FENCE			
				DISCIPLINE: CIVIL			
				SHEET: 3			
				REV: 0			

Permacast precast concrete fence



Permacast precast concrete fence



PERMAWALL SAND FINISH- WITH DECORATIVE COLUMN CAPS





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 27, 2020
APPLICANT: Sandie Wood
CASE NUMBER: MIS2020-014; *Special Exception for 207 Wade Drive*

SUMMARY

Discuss and consider a request by Sandie Wood for the approval of a Special Exception to the material standards for residential fences to allow a previously constructed chain-link fence on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Wade Drive, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town Rockwall Addition, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 7 (SF-7) District. The property remains zoned Single-Family 7 (SF-7) District.

On March 13, 2019, the applicant submitted a request to the Board of Adjustments (BOA) to construct an accessory building that exceeded the maximum square footage permitted for accessory structures (*Case No. BOA2019-0004*). This request was denied administratively due to changes in the ordinance dealing with how these types of requests were processed. The applicant then submitted a Specific Use Permit (SUP) application on March 15, 2019 for a guest quarters/secondary living unit and accessory building that exceeded the maximum size (*Case No. Z2019-004*). After attending the Planning and Zoning Commission Work Session meeting on March 26, 2019, the applicant submitted request to withdraw the case. On June 21, 2019, the applicant submitted a building permit for a 6,350 SF single-family home (*Permit No. BLD2019-1658*). This permit was approved and issued on November 21, 2019 and construction is still on-going; however, the project is close to receiving final approval.

During the construction of single-family home, it was noticed by the Building Inspector that the applicant had constructed a six (6) foot chain-link fence along the southern property line of the subject property. The fence was not a part of the original building permit and had not been permitted under a separate permit. In addition, the fence extended into both the required front yard building setback and the floodplain. According to staff in the Building Inspections Department, multiple conversations concerning fencing had taken place with the applicant prior to and after the issuance of the building permit for the single-family home. All of these conversations were centered around the applicant's concerns that people were illegally dumping on the subject property. During these conversations staff explained [1] that a building permit would be required to build a fence on the subject property, [2] the material requirements for fences in a residential area, and [3] that fences could not be constructed in a floodplain; however, despite these conversations the aforementioned fence was constructed. Since the fence did not meet the material or placement requirements, staff contacted the applicant's builder -- *Perry Bowen of Perry Bowen Homes, LLC* -- and requested that the fence be removed. On August 3, 2020, the applicant submitted a fence permit for the previously constructed chain-link fence. This permit was denied by staff on August 19, 2020, and an email was sent to the applicant detailing the City's fence requirements and indicating that the fence was in violation. The email also stated that the applicant would either need to request a special exception or remove the fence from the property. On September 21, 2020, staff again explained to Mr. Bowen that the fence needed to be removed and provided Mr. Bowen a copy of the email sent to the applicant. Finally, on October 15, 2020 the applicant met with representatives from the Building Inspections and Planning and Zoning Departments. At this meeting, the applicant stated that she was unaware that she needed to get a fence permit for the fence and asked to request a special exception.

For the Planning and Zoning Commission's review staff has provided a timeline of events prepared by the Building Inspections Department along with the email sent to the applicant on August 19, 2020. These items are in the attached packet.

PURPOSE

The applicant is requesting approval of a special exception in accordance with Subsection 08.02(B), *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) for the purpose of permitting a six (6) foot chain-link fence that was constructed without a building permit, and which does not conform to the permitted material requirements.

ADJACENT LAND USES AND ACCESS

The subject property is located at 207 Wade Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Washington Street, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.407-acre parcel of land that is occupied with an elementary school (*i.e. Dobbs Elementary School*). This property is zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are three (3) single-family homes situated on two (2) parcels of land (*i.e. Lot 1, Block A, Piercy Place Addition and Tract 60 of the R. Ballard Survey, Abstract No. 29*). Beyond this is Hartman Street, which is identified as a R2 (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway are three (3) single-family homes and a 3.983-acre tract of vacant land. All of these properties are zoned Single-Family 7 (SF-7) District and two (2) of the homes fronting on to Hartman Street are located within the Old Town Rockwall Historic District.

East: Directly east of the subject property are five (5) single-family homes on six (6) tracts of land that front onto Renfro Street. This section of Renfro Street is identified as a R2 (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) single-family homes on four (4) tracts of land. All of the properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is Wade Drive, which is identified as a R2 (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare are six (6) single-family homes on nine (9) tracts of land that are zoned Single-Family 7 (SF-7) District. Two (2) tracts of land with one (1) single-family home situated on one (1) of the tracts are located within the Old Town Rockwall Historic District. Beyond these homes is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST:

According to Subsection 08.03(B)(2)(b), *Chain-Link Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)ew chain-link fences shall be prohibited." There are provisions within the chapter that allow the replacement of an existing chain-link fence; however, the code requires replacement chain-link fences to be vinyl coated. In this case, the applicant has constructed a new six (6) foot chain-link fence (*i.e. that is not vinyl coated*), and is not replacing an existing chain-link fence. As stated above, these fence standards were relayed to the applicant prior to the construction of the unpermitted fence.

According to Subsection 08.03(B)(2), *Special Exceptions*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)he Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 08.02(B) (*e.g. vinyl or split rail fencing*) and/or alternative fence standards on a *case-by-case* basis." Staff should point out that Subsection 08.02(B) does not allow bare chain-link fencing, only vinyl coated chain-link fencing. Staff should also note that since the fence material requirements were explained to the applicant prior to the fence being constructed, staff is unable to determine a hardship that would prevent the applicant from meeting the ordinance; however, these types of requests are discretionary decisions for the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for a special exception to the permitted material requirements for fences, then staff would propose the following conditions of approval:

- (1) The applicant will be required to obtain a fence permit from the Building Inspections Department;
- (2) The applicant will be required to remove the portions of the chain-link fence that are located within the front yard and the floodplain areas on the subject property within 30-days of the Planning and Zoning Commission's action; and,
- (3) Any construction resulting from the approval of this special exception shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. MIS 2020-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 307 Wade Drive

Subdivision No Subdivision

Lot 1 Block A

General Location Washington / ~~Marion~~ Wade

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF7

Current Use R

Proposed Zoning SF7

Proposed Use R

Acreage 3.51

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Sandie Wood

Applicant

Contact Person Sandie Wood

Contact Person

Address 8718 Clearlake Dr.

Address

City, State & Zip Rowlett, TX 75088

City, State & Zip

Phone 214-282-8024

Phone

E-Mail Sandie.Wood@verizon.net

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Sandie Wood [Owner] the undersigned, who stated the information on this application to be true and certified the following:

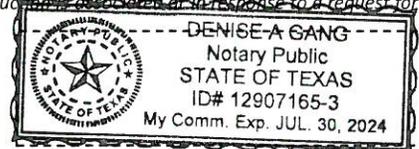
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a request for public information."

Given under my hand and seal of office on this the 15th day of October, 20 20.

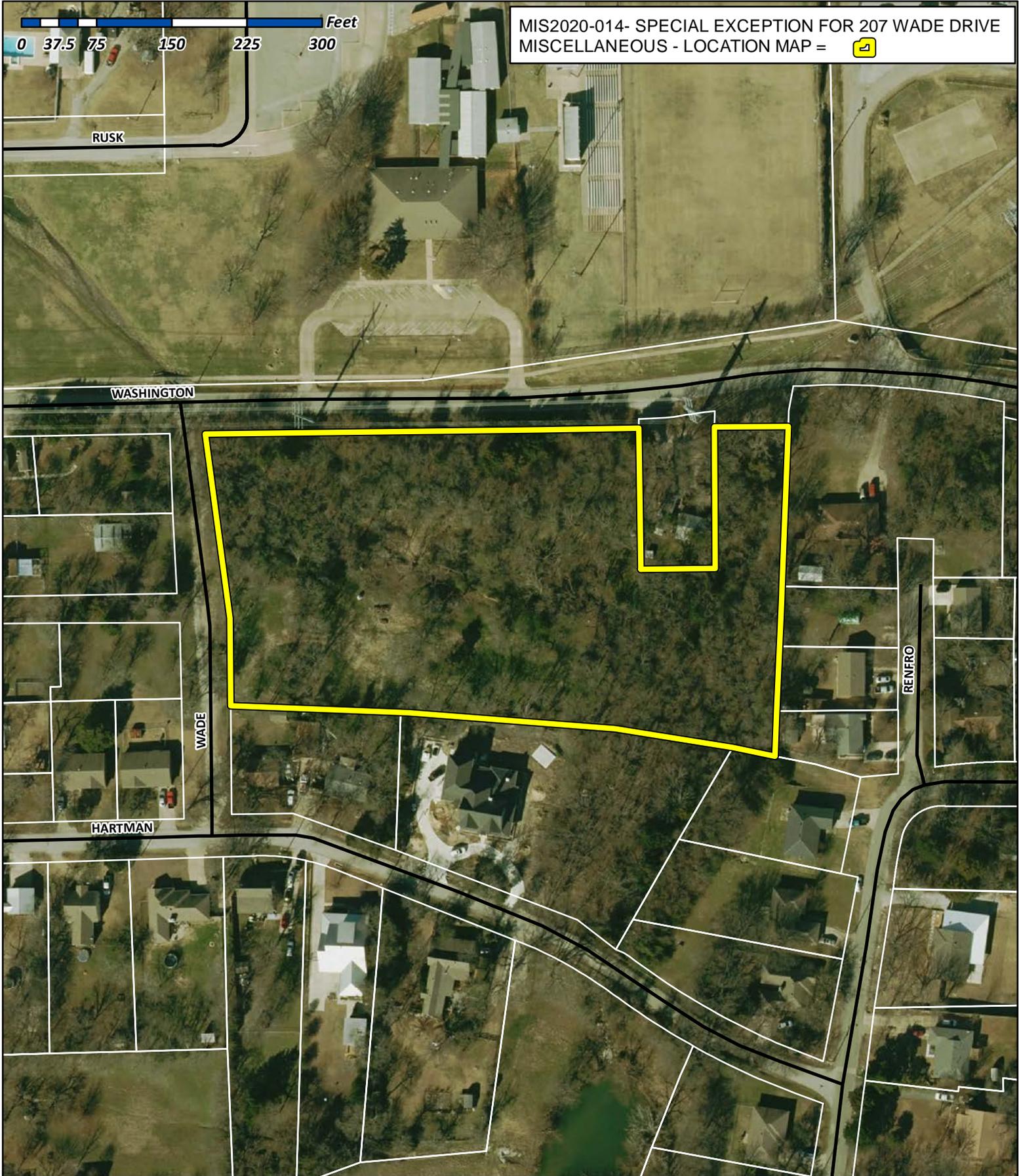
Owner's Signature

Sandie Wood
[Signature]

Notary Public in and for the State of Texas



My Commission Expires



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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Timeline Prepared by the Building Inspections Department for 207 Wade St.

- Mrs. Wood contacted the building inspection department multiple times years ago. At that time she stressed to us the need for a fence around her property to keep people from illegally dumping trash. I explained to her that she would need a permit for a fence and that most areas of her property could not be fenced because of a flood plain.
- 6/12/2020: After seeing the fence installed without permit our building inspector, Mike Tiehen, contacted Mrs. Wood and her builder, Perry Bowen. Over the speaker phone he explained that the fence did not meet the fence material requirement and would require a permit and this could hold up the final inspection.
- 8/19/2020: Our Plans Examiner, Craig Foshee, sent Mrs. Wood an email detailing the fence permitting requirements. He also notified her about the installed fence deficiency and zoning requirements.
- 9/21/2020: Perry Bowen visited City Hall and spoke with our Plans Examiner, Craig Foshee. He once again explained the fence requirements and gave him a copy of the email he sent to Mrs. Wood on 8/19/2020.
- 10/15/2020: Mrs. Wood visited City Hall and spoke with Rusty McDowell, BI Supervisor and with Angelica Gamez and Henry Lee from the Planning Zoning Department. Mrs. Wood explained to the staff once again her needs of having fence and that the fence that was installed was donated to her. She stated that she had no idea that she needed a permit for the fence. It was explained to her once again that she needed a permit to build a fence and that the location of the installed fence would not be acceptable. We explained this was because of the location of the flood plain, also that the fence may be located past the front of the house, and the use of material (chain link) is not allowed. Mrs. Wood asked the staff if the fence would hold up her final inspection and she was told that it would. After staff discussion with management, Mrs. Wood was given permission to move into her house after she completed the remaining items listed on her disapproved final inspection. She was told she needed to complete an application for a variance with the Planning and Zoning Department.

Foshee, Craig

From: Foshee, Craig
Sent: Wednesday, August 19, 2020 10:51 AM
To: 'SANDIE.WOOD@VERIZON.NET'
Cc: Gamez, Angelica
Subject: 207 Wade Drive 6' chain link fence - Permit Application
Attachments: SPECIAL EXCEPTION Application.pdf

Importance: High

Please be advised we were unable to approve your fence permit application due to new chain link fences are not permitted within residential districts, and fencing installed past the front façade is considered a front yard fence which requires a Special Exception by the Planning and Zoning Commission. If you wish to apply for a Special Exception for a front yard fence please contact the Planning & Zoning Dept. @ 972-771-7745 or Angelica Gamez who is also attached to this email.

Special Exceptions. The Planning and Zoning Commission may consider alternative materials that are permitted by Subsection 8.02(B) (e.g. vinyl or split rail fencing) and/or alternative fence standards on a case-by-case basis. These exceptions will not be subject to the approval criteria and voting requirements stipulated by Section 09.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures.

Approved front yard fencing for residential properties are as follows:

- (1) **Fences in the Front Yard.** No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission. For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:
 - (a) **Wood Fences.** Wood fences that are 50% transparent shall not exceed 42-inches in height.
 - (b) **Wrought Iron or Decorative Metal Fences.** Wrought iron or decorative metal fences that are 50% transparent shall not exceed 48-inches in height.
 - (c) **Opaque Fences.** Opaque fences are prohibited in the front yard of residential properties.

In considering a front yard fence, the Planning and Zoning Commission may require applicants to provide additional information, plans, drawings, and/or other information concerning the proposed front yard fence. In addition, the Planning and Zoning Commission may establish additional conditions of construction for any fence.

Approved perimeter fencing (behind the front façade) for residential properties are as follows:

Permitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (*i.e. with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish*), brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form liner.

1. **Wrought Iron** -All transparent fencing shall be wrought iron that is a minimum of four (4) feet in height and a maximum of eight (8) feet in height.
2. **Solid Fencing** - All solid fencing shall be constructed utilizing standard cedar fencing materials (spruce fencing is prohibited) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side and all posts and/or framing shall be placed on the private side when adjacent to a public street (excluding alleyway), open space, public park, and/or neighboring properties. Painting a fence with oil or latex based paint shall be prohibited.)



207

PRIVATE
PROPERTY
NO TRESPASSING









PRIVATE
PROPERTY
NO TRESPASSING

U.S. MAIL
207





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: October 27, 2020
SUBJECT: Z2020-043; *Specific Use Permit for an Existing Mini-Warehouse Facility*

On July 7, 2014, the City Council approved a Specific Use Permit (SUP) [S-121; Ordinance No. 14-25] allowing a 579-unit mini-warehouse facility on the subject property at 1245 SH-276. This approval allowed the facility to be completely enclosed and permitted the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles. Up to this point, outside storage in conjunction with a mini-warehouse had not been approved by the City Council. This approval also granted the applicant more units than what was permitted by the land use requirements for the mini-warehouse land use as stipulated by the Unified Development Code (UDC) [*i.e. the ordinance permits 125-units per acre and the applicant was granted 207-units per acre or 222-units more than what was permitted by the ordinances*]. Upon receiving approval of the Specific Use Permit (SUP), the applicant submitted a site plan (SP2014-033) in December 2014, which was approved by the Planning and Zoning Commission on January 13, 2015. A final plat (P2015-013) was approved by the City Council on May 4, 2015. A subsequent replat (P2015-041) was approved by the City Council -- *with a variance allowing the subject property to be established without lot frontage* -- on December 21, 2015. Finally, a building permit was applied for on May 22, 2015 and approved on August 19, 2015 (BLD2015-0685). The building itself was finalized on September 2, 2016 and a Certificate of Occupancy (CO) was issued on September 20, 2016 (CO2016-0063).

More recently, on October 6, 2020, staff received a phone call from the applicant -- *Maxwell Fisher, AICP of Masterplan* -- stating that the existing mini-warehouse facility was in the process of being conveyed to a new ownership group and a few discrepancies were found between what was approved by the City Council as part of the Specific Use Permit (SUP) [S-121; Ordinance No. 14-25] and what was actually constructed. Since these discrepancies were holding up the sale of the property, the applicant stated that he was going to submit a request to amend the Specific Use Permit (SUP) to account for what was actually built on the property. This application was made on October 8, 2020. As part of this submittal, the applicant submitted a letter of explanation outlining the following discrepancies:

- (1) Number of Units. The approved Specific Use Permit (SUP) allowed a maximum of 579-units. The actual number of units constructed was 778-units. The applicant states in his letter that 827-units were approved as part of the building plans; however, after reviewing these plans and counting the individual units, staff has identified 872-units on plans despite the cover sheet calling out 579-units.
- (2) Unit Density. The unit density permitted by the Unified Development Code (UDC) is 125-units per acre. The unit density permitted as part of the Specific Use Permit (SUP) was 203-units per acre. The unit density shown on the building plans was 305-units per acre. The actual unit density constructed was 272-units per acre or 278.85% greater than what is permitted by the Unified Development Code (UDC).
- (3) Parking. The parking requirement for a mini-warehouse is a ratio that is driven by the number of units, and which is three (3) parking spaces plus one (1) parking space per 100-units. In this case, the number of parking spaces required under the 579-units on the Specific Use Permit (SUP) was nine (9). The number of parking spaces required based on the 778-units actually constructed was 11. The actual number of parking spaces constructed was nine (9) or two (2) spaces less than the requirement.

Staff has identified the following additional discrepancies:

- (1) Floor Area. The exhibit in the Specific Use Permit (SUP) showed a 118,800 SF building. The cover sheet of the building plans shows that same building at a building area of 122,800 SF. The actual building that was built is -- *estimated by the applicant* -- to be ~119,000 SF.
- (2) Outside Storage. The Specific Use Permit (SUP) showed 16 RV/Boat parking spaces along the northeast property line and 12 along the southeast property line for a total of 28 RV/Boat parking spaces. Based on a 2020 aerial image (see *image below*), there appears to actually be 17 RV/Boat parking spaces along the northeast property line and 12 along the southeast property line for a total of 29 RV/Boat parking spaces.

IMAGE 1: 2020 AERIAL IMAGE (GOOGLE)



In addition, according to the applicant's letter: *The '579' figure was inadvertently placed on the site plan and conveyed as part of the SUP application materials. As such, the total count of 579 units cited as part of the SUP application was an oversight and underrepresented the total number of units planned for a facility of this type and size ... Platinum Storage, the developer and currently a minority owner of the facility, always intended to accommodate 800 or more total storage units depending on the fluctuating sub-market demand for customers. The floor plans submitted as part of the building plans support this intent.*

Taking this statement into consideration, staff is obligated to point out that the applicant's request letter, the application for site plan, and all submitted exhibits for the Specific Use Permit (SUP), site plan and engineering plans all indicated that the project consisted of 579-units. Staff should also point out that the building permit coversheet -- *which is what is used for unit counts, square footages, and other site information* -- indicated 579-units. The only document that showed more units than the '579' figure was the actual construction plans behind the cover page; however, no other unit count on the plans exists beyond the provided cover page. For the Planning and Zoning Commission's reference staff has provided the following table that shows the units indicated with each submittal and the compliance to the requirements of the Unified

Development Code (UDC):

TABLE 1: CONFORMANCE OR APPROVED PLANS AND ACTUAL CONSTRUCTION

UDC REQUIREMENT	SPECIFIC USE PERMIT	APPROVED PLANS				BUILDING PLANS (ACTUAL PLANS)	CONSTRUCTED
		SITE PLAN	ENGINEERING	BUILDING PLANS (COVER SHEET)			
SITE AREA	5-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES
BUILDING AREA	N/A	118,800 SF	122,800 SF	122,800 SF	122,800 SF	120,900 SF	119,000 SF
MAXIMUM # OF UNITS	625 @ 5-ACRES	579-UNITS	579-UNITS	579-UNITS	579-UNITS	872-UNITS (1)	778-UNITS
MAX. UNIT DENSITY/ACRE	125 UNITS	203-U/AC	203-U/AC	203-U/AC	203-U/AC	305-U/AC	272-U/AC
MAXIMUM HEIGHT	1 STORY	4 STORIES	4 STORIES	4 STORIES	4 STORIES	4 STORIES	4 STORIES
PARKING REQUIREMENT	3+1/100-UNITS	9 SPACES	9 SPACES	9 SPACES	9 SPACES	9 SPACES (2)	9 SPACES (2)
EXTERIOR WALLS	BRICK	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)

LANDSCAPING	CLUSTERED LANDSCAPING	CLUSTER LANDSCAING					
ACCESS GATES	YES						
SCREENING FENCE	MASONRY AND WROUGHT IRON						
MINIMUM ROOF PITCH	1:3	FLAT ROOF					
PAVING	CONCRETE						
MAX. LIGHTING HEIGHT	20-FEET						
RESIDENTIAL UNIT	1,600 SF	1,200 SF	1,200 SF	1,200 SF	1,200 SF	0 SF	0 SF
OUTSIDE STORAGE	PROHIBITED	28-SPACES	28-SPACES	28-SPACES	28-SPACES	28-SPACES	29-SPACES

NOTES:

BLACK: IN CONFORMANCE WITH THE UDC REQUIREMENTS

RED: REQUIREMENTS NOT CONFORMING TO THE UDC

HIGHLIGHTED OR HIGHLIGHTED: CHANGES FROM APPROVED SPECIFIC USE PERMIT (SUP) AND ACTUAL CONSTRUCTION

(1): APPLICANT INDICATED 827 STAFF COUNTED 872-UNITS.

(2): BASED ON THE NUMBER OF UNITS CONSTRUCTED THE REQUIREMENT WOULD HAVE BEEN FOR 11 PARKING SPACES.

(3): MEETS OVERLAY DISTRICT BUT DOES NOT ADHERE TO THE LAND USE REQUIREMENTS.

The following is the same chart looking at just the discrepancies as they exist on the approved Specific Use Permit (SUP), the actual building that was constructed, and what is currently being requested by the applicant:

TABLE 2: APPROVED SUP, CONSTRUCTED BUILDING, AND PROPOSED REQUEST

REQUIREMENT	SPECIFIC USE PERMIT	CONSTRUCTED	REQUESTED
SITE AREA	2.857-ACRES	2.857-ACRES	2.857-ACRES
BUILDING AREA	118,800 SF	119,000 SF	119,000 SF
MAXIMUM # OF UNITS	579-UNITS	778-UNITS	794-UNITS
MAX. UNIT DENSITY/ACRE	203-U/AC	272-U/AC	278-U/AC
PARKING REQUIREMENT	9 SPACES	9 SPACES (1)	9 SPACES (2)
OUTSIDE STORAGE	28-SPACES	29-SPACES	29-SPACES (2)

NOTES:

BLACK: IN CONFORMANCE WITH THE UDC REQUIREMENTS

RED: REQUIREMENTS NOT CONFORMING TO THE UDC

HIGHLIGHTED OR HIGHLIGHTED: CHANGES FROM APPROVED SPECIFIC USE PERMIT (SUP) AND ACTUAL CONSTRUCTION

(1): BASED ON THE NUMBER OF UNITS CONSTRUCTED THE REQUIREMENT WOULD HAVE BEEN FOR 12 PARKING SPACES.

(2): VARIANCE IS BEING REQUESTED

In summation, the applicant is requesting that the Planning and Zoning Commission and City Council approve a new Specific Use Permit (SUP) that will [1] increase the unit count from 579-units to 794-units, [2] increase the maximum unit density from 203-units/acre to 278-units/acre, [3] change the approved building square footage from 118,800 SF to 119,000 SF (*i.e. a new concept plan showing an as-built condition*), [4] grant a variance to the parking requirement allowing the site to be two (2) parking spaces deficient, and [5] increase the number of outside storage parking spaces from 28 to 29. This request will be subject to the following schedule:

Planning and Zoning Commission Work Session: October 27, 2020
 Planning and Zoning Commission Public Hearing: November 10, 2020
 City Council Public Hearing and First Reading: November 16, 2020
 City Council Second Reading: December 7, 2020

In addition, staff will mail the necessary property owner notifications, Homeowner's Association (HOA) notifications, and post an advertisement in the Rockwall Herald Banner. Should the Planning and Zoning Commission have any questions staff will be available at the Planning and Zoning Commission Work Session on October 27, 2020.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: Z2020-043
PROJECT NAME: SUP for 1245 State Highway 276
SITE ADDRESS/LOCATIONS: 1245 STATE HIGHWAY 276, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/22/2020	Approved w/ Comments

10/22/2020: Z2020-043; Specific Use Permit (SUP) for 1245 SH-276

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and addressed as 1245 SH-276.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-043) in the lower right-hand corner of all pages on future submittals.

I.4 Based on what was approved on the Specific Use Permit (SUP) and what was actually constructed staff has identified the following variances/non-conformities with regard to this request:

- (1) The Specific Use Permit (SUP) allows for a total of 579-units, but 778-units were constructed.
- (2) The Specific Use Permit (SUP) allows for an 118,800 SF building, but a 119,000 SF building was constructed.
- (3) The Specific Use Permit (SUP) allows for a unit density of 203-units/acre, but 272-units/acre were constructed.
- (4) The mini-warehouse facility was constructed with nine (9) parking spaces based on the number of units represented at the time of Specific Use Permit (SUP), site plan, engineering plans, and on the cover page of the building permit. The actual number of units constructed by the applicant will require a minimum of 11 parking spaces.
- (5) The mini-warehouse facility was approved for 28 recreational vehicle and boat parking spaces per the Specific Use Permit (SUP); however, the actual number of recreation vehicle and boat parking spaces provided on the site is 29.

M.5 Please review the attached Draft Ordinance prior to the October 27, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 3, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 10, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

I.7 The projected City Council meeting dates for this case will be November 16, 2020 [1st Reading] and December 7, 2020 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/22/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved
10/20/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-043

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	1245 Highway 276				
Subdivision	Platinum Storage Addition	Lot	4	Block	A
General Location	Southeast of IH30, southwest of TL Townsend Drive				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Commercial (C) District	Current Use	Self-Storage (Mini-warehouse)		
Proposed Zoning	Commercial (C) District	Proposed Use	Self-Storage (Mini-warehouse)		
Acreage	2.857	Lots [Current]	1	Lots [Proposed]	1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Wolverine Self-Storage Investments-Rockwall EDP, LLC	<input checked="" type="checkbox"/> Applicant	Maxwell Fisher, AICP, Masterplan
Contact Person	Anthony Gould, General Partner/ Benjamin Carr, General Partner	Contact Person	Maxwell Fisher, AICP
Address	4057 Vega Loop	Address	2201 Main Street, Suite 1280
City, State & Zip	Shingle Springs, CA 95682	City, State & Zip	Dallas, TX 75201
Phone	530.409.8978	Phone	214.470.3972
E-Mail	gouldanthony@gmail.com/ benjamin.x.carr@gmail.com	E-Mail	maxwell@masterplantexas.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Anthony J. Gould [Owner] the undersigned, who stated the information on this application to be true and certified the following: # 242.86

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 242.86, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 7 day of October, 2020.

Owner's Signature

Anthony J. Gould
CA
Notary Public in and for the State of TX

**SEE ATTACHED
NOTARY CERTIFICATE**

My Commission Expires 03/31/2022

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of El Dorado

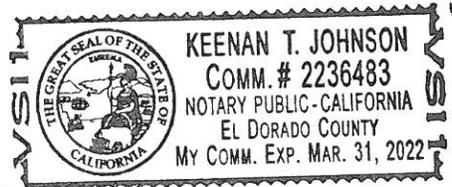
On 10/07/2020 before me, Keenan T. Johnson, Notary Public
(insert name and title of the officer)

personally appeared Anthony J. Gould,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)





Z2020-043- SUP FOR 1245 SH-276
ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

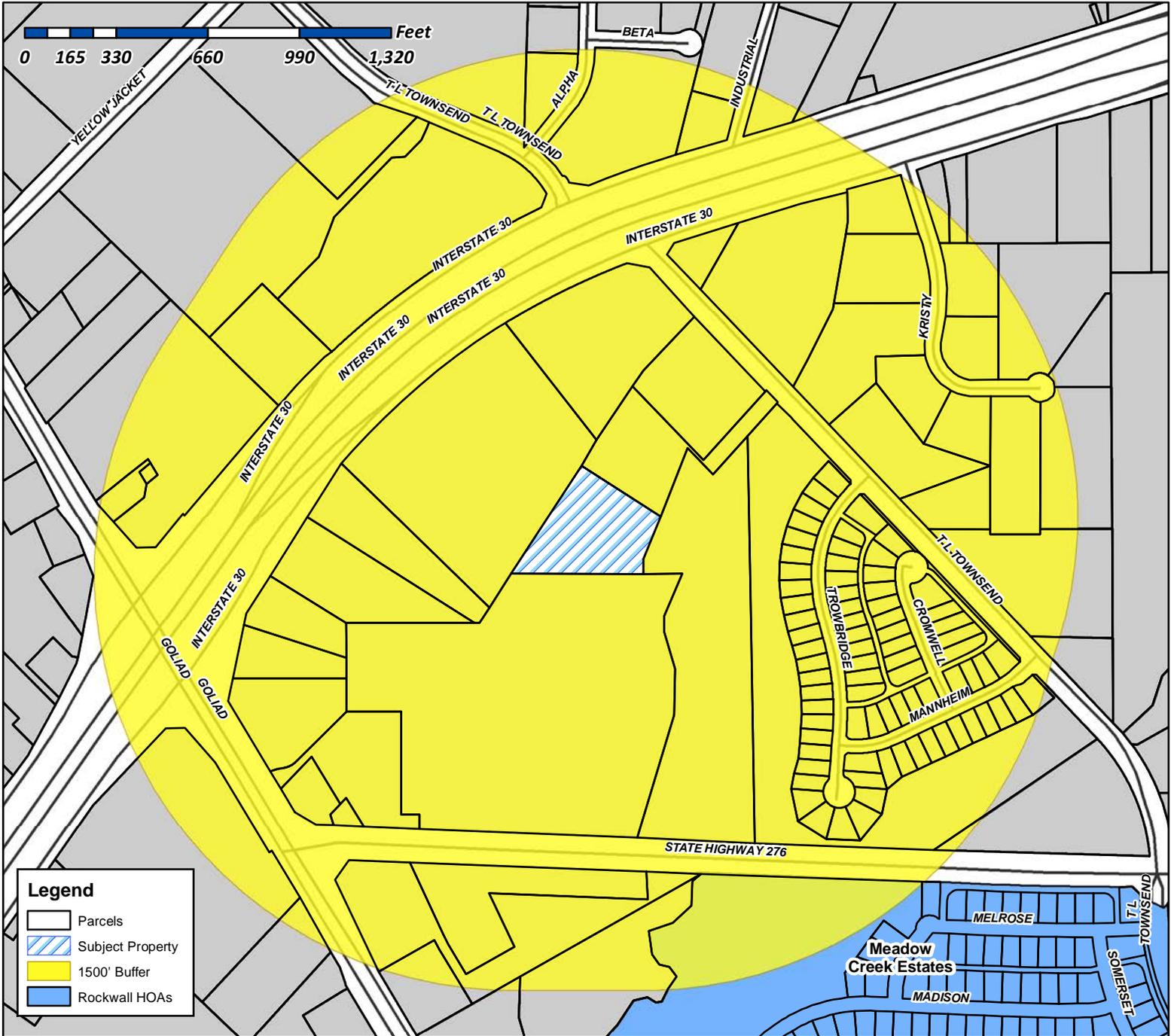




City of Rockwall

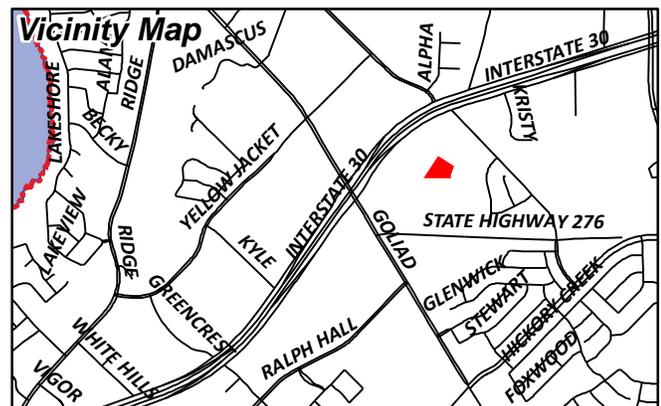
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Case Number: Z2020-043
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1245 SH-276

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-043.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-043 Specific Use Permit for Mini-Storage

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing *Specific Use Permit* for the purpose of increasing the number of storage units permitted by *Ordinance No. 14-25* to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

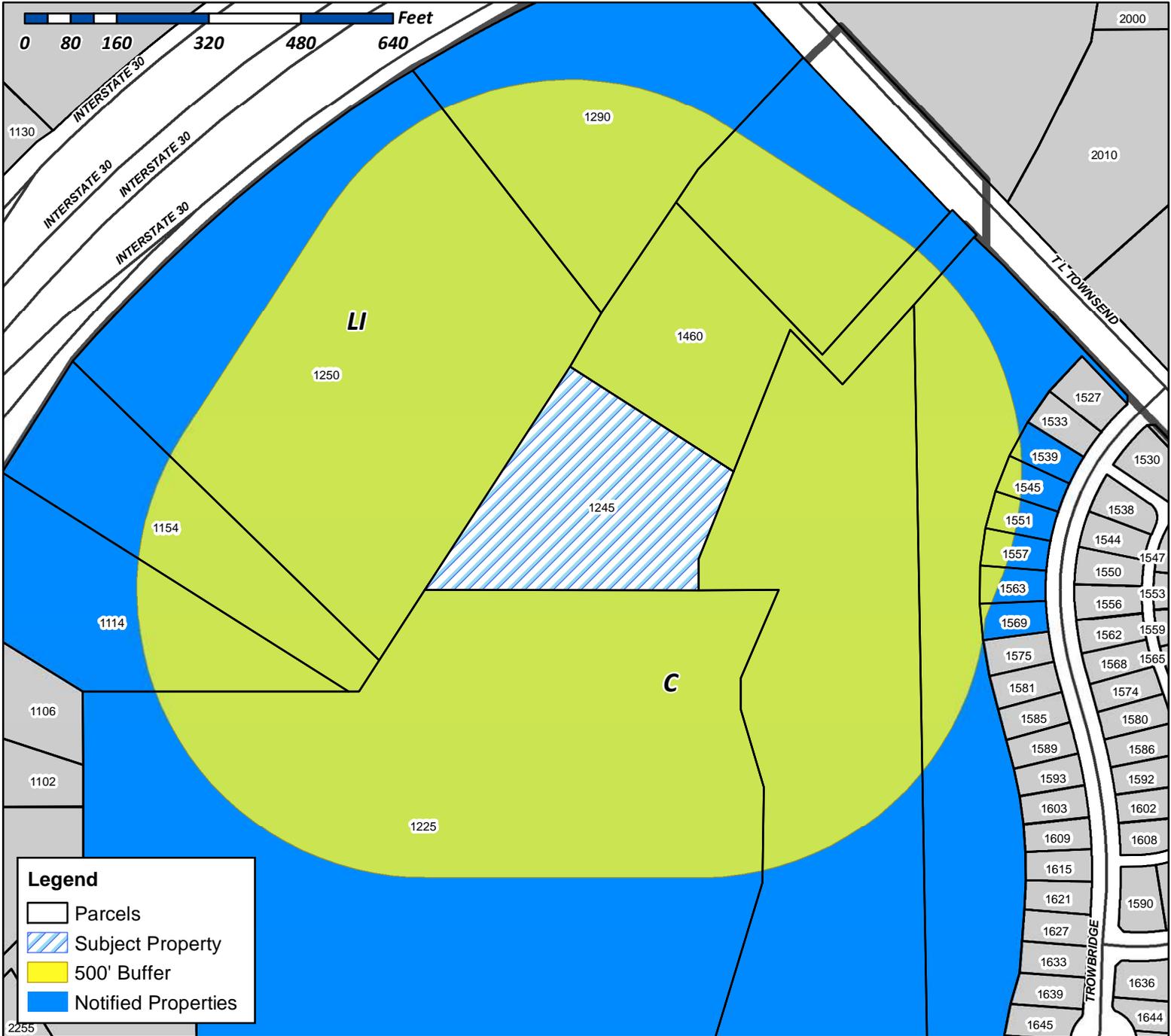
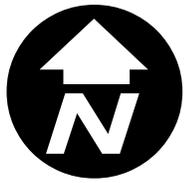
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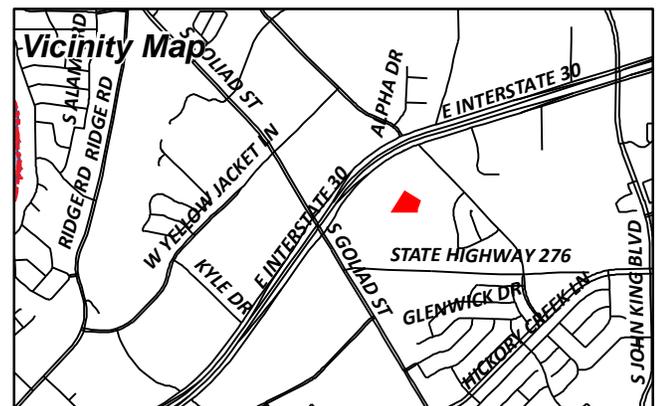
City of Rockwall

Planning & Zoning Department
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Case Number: Z2020-043
Case Name: SUP For Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1245 SH-276



Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

POTOMAC ROCKWALL PARTNERSHIP LP
10676 KING WILLIAM
DALLAS, TX 75220

COCKERILL CHRISTOPHER M AND JENNIFER
COCKERILL SMITH AND
EXEMPTION TRUST U/COCKERILL FAMILY 1981
TRUST
1114 E I30
ROCKWALL, TX 75032

POTOMAC ROCKWALL PARTNERSHIP LP
1154 E I30
ROCKWALL, TX 75032

COSTCO WHOLESALE CORP
PROPERTY TAX DEPT 1049
1225 HWY 276
ROCKWALL, TX 75032

WOLVERINE SELF-STORAGE INVESTMENTS-
ROCKWALL EDP LLC
ATTN: ANTHONY GOULD
1245 HWY276DR
ROCKWALL, TX 75032

JACKSON AUTOMOTIVE REAL ESTATE INV LLC
DBA TOYOTA OF ROCKWALL
1250 E INTERSTATE 30
ROCKWALL, TX 75087

CTE PHASE I LP
1290 I30
ROCKWALL, TX 75032

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

SARO PARTNERS LLC
1460 S TOWNSEND DR
ROCKWALL, TX 75032

FARR TRAVIS AND MELLISA
1539 TROWBRIDGE CIRCLE
ROCKWALL, TX 75032

COURT CRAIG B & MONDA J
1545 TROWBRIDGE CIRCLE
ROCKWALL, TX 75032

FENG YI
1551 TROWBRIDGECIR
ROCKWALL, TX 75032

MOTA SAMUEL ALVES AND LEIGH-ANNE
1557 TROWBRIDGE CIR
ROCKWALL, TX 75032

SCHULMAN SUN
1563 TROWBRIDGE CIR
ROCKWALL, TX 75032

SUN RAY
1569 TROWBRIDGECIR
ROCKWALL, TX 75032

CTMGT ROCKWALL 38 LLC
1800 VALLEY VIEW LN SUITE 300
FARMERS BRANCH, TX 75234

CITY OF HEATH
200 LAURENCE DRIVE
HEATH, TX 75032

CTE PHASE I LP
2266 LAFAYETTE LNDG
ROCKWALL, TX 75032

FENG YI
2757 SCENIC DR
PLANO, TX 75025

COCKERILL CHRISTOPHER M AND JENNIFER
COCKERILL SMITH AND
EXEMPTION TRUST U/COCKERILL FAMILY 1981
TRUST
311 BILTMORE WAY
LAFAYETTE, LA 70508

SUN RAY
3409 CALEO CT
PLANO, TX 75025

WOLVERINE SELF-STORAGE INVESTMENTS-
ROCKWALL EDP LLC
ATTN: ANTHONY GOULD
4057 VEGA LOOP
SHINGLE SPRINGS, CA 95682

COSTCO WHOLESALE CORP
PROPERTY TAX DEPT 1049
999 LAKE DR
ISSAQUAH, WA 98027

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-043: Specific Use Permit for Mini-Storage

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-043: Specific Use Permit for Mini-Storage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CITY OF ROCKWALL

ORDINANCE NO. 14-25

SPECIFIC USE PERMIT NO. S-121

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) TO ALLOW A MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT AS SPECIFIED WITHIN ARTICLE IV, *PERMISSIBLE USES*, OF THE UNIFIED DEVELOPMENT CODE, FOR A 2.857-ACRE TRACT OF LAND, BEING A PORTION OF A LARGER 5.549-ACRE TRACT OF LAND IDENTIFIED AS PART OF TRACT 2 OF THE J. CADLE SURVEY, ABSTRACT NO. 65, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Master Plan, on behalf of Rockwall SH-205 Venture, LLC for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger 5.549-acre tract land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, which is generally located south of the intersection of the IH-30 Frontage Road and Townsend Drive, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the construction of a mini-warehouse facility within a Commercial (C) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and set forth in Section 2.1.10, *Wholesale, Distribution and Storage*, of Article IV, *Permissible Uses*, of the Unified Development Code

[*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions and compliance standards:

2.1 Operational Conditions

The following conditions pertain to the operation of a mini-warehouse facility on the *Subject Property*, and conformance to these operational conditions are required for continued operations:

- 1) Prior to the issuance of a building permit a site plan conforming to the requirements stipulated by the Unified Development Code [*Ordinance No. 04-38*] shall be submitted and approved by the Planning & Zoning Commission, and if necessary City Council.
- 2) All construction and operations on this property shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- 3) The building elevations submitted with the site plan shall strictly adhere to the Concept Building Elevations depicted in *Exhibit 'C'* of this ordinance, unless required to be modified to conform to the recommendations of the Planning & Zoning Commission and/or City Council.
- 4) The maximum number of storage units provided shall not exceed 579 units for the facility.
- 5) All transparent fences shall be wrought iron or similar, and when necessary incorporate landscaping/living screening to screen the interior of the facility. Chain-link fencing shall be prohibited.
- 6) The height of the building shall not exceed four (4) stories or 60-feet in total height.
- 7) Outside storage shall be limited to the areas depicted on the Concept Plan in Exhibit 'A', and shall be entirely screened by a row of evergreen trees (i.e. Leyland Cypress) to be planted along the eastern property line. No outside storage of any kind shall be permitted outside of the areas depicted on the Concept Plan. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- 8) Businesses shall not be allowed to operate within individual storage units.
- 9) The commercial operation of rental trucks and trailers shall be prohibited.
- 10) All signage shall be required to conform to the requirements stipulated by the Code of Ordinances. Additionally, pole signage shall be prohibited on this site.
- 11) All light poles shall be limited to a maximum height of 20-feet and all light fixtures proposed for the site shall comply with the requirements of Article VII, *Environmental Performance*, of the Unified Development Code.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

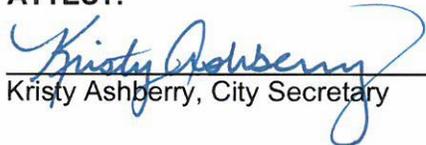
Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JULY, 2014.**

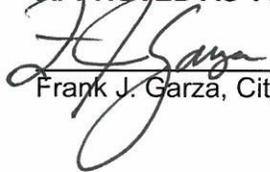

David Sweet, Mayor

ATTEST:


Kristy Ashberry, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: June 16, 2014

2nd Reading: July 7, 2014

Exhibit A: Legal Description

BEING a 2.857 acre tract of land, being a portion of a 5.549 acres tract of land recorded in instrument No. 2013-480420, situated in the JOSEPH CADLE SURVEY, ABST#65 and the N.M. BALLARD SURVEY ABST. #48, in the City of Rockwall, Rockwall County, Texas, and being a portion of a 65.96 tract of land recorded in Volume 4663, page 281 of the Official Public Records of Rockwall County, Texas and being all and being more particularly described as follows:

BEGINNING at 5/8 inch iron rod set for the northerly northwest corner of Lot 1, Block 1 of Rockwall Centre Corners Addition according to the plat recorded in Cabinet G, Slide 299 of the Plat Records of Rockwall County, Texas and being located in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas;

THENCE along the southeasterly line of said Toyota of Rockwall Addition, NORTH 33°54'52" EAST a distance of 460.20 feet to a 5/8 inch iron rod to be set in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas and being the west corner of a 2.692 acre tract being a portion of a 5.549 acre tract of land recoded in instrument No. 2013-480420 Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southeasterly line of said Lot 1, Block 1, SOUTH 56°05'08" EAST a distance of 339.05 feet to a 5/8 inch iron road to be set in the southwest line of said 65.96 acre tract of land being the southeast corner of a 2.692 acre tract being a portion of a 5.549 acre tract of land recoded in instrument No. 2013-480420 Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southwest corner of said 2.692 acre tract of land and traveling through said 65.96 acre tract of land the following course and distances:

SOUTH 22°36'40" WEST a distance of 158.90 feet to a 5/8 inch iron rod set;

SOUTH 00°57'44" WEST a distance of 54.05 feet to a 5/8 inch iron rod set in the north line of said Lot 1 of Rockwall Centre Corners Addition;

THENCE along said north line, NORTH 89°02'16" WEST a distance of 476.20 feet to the POINT OF BEGINNING;

Exhibit B: Concept Plan

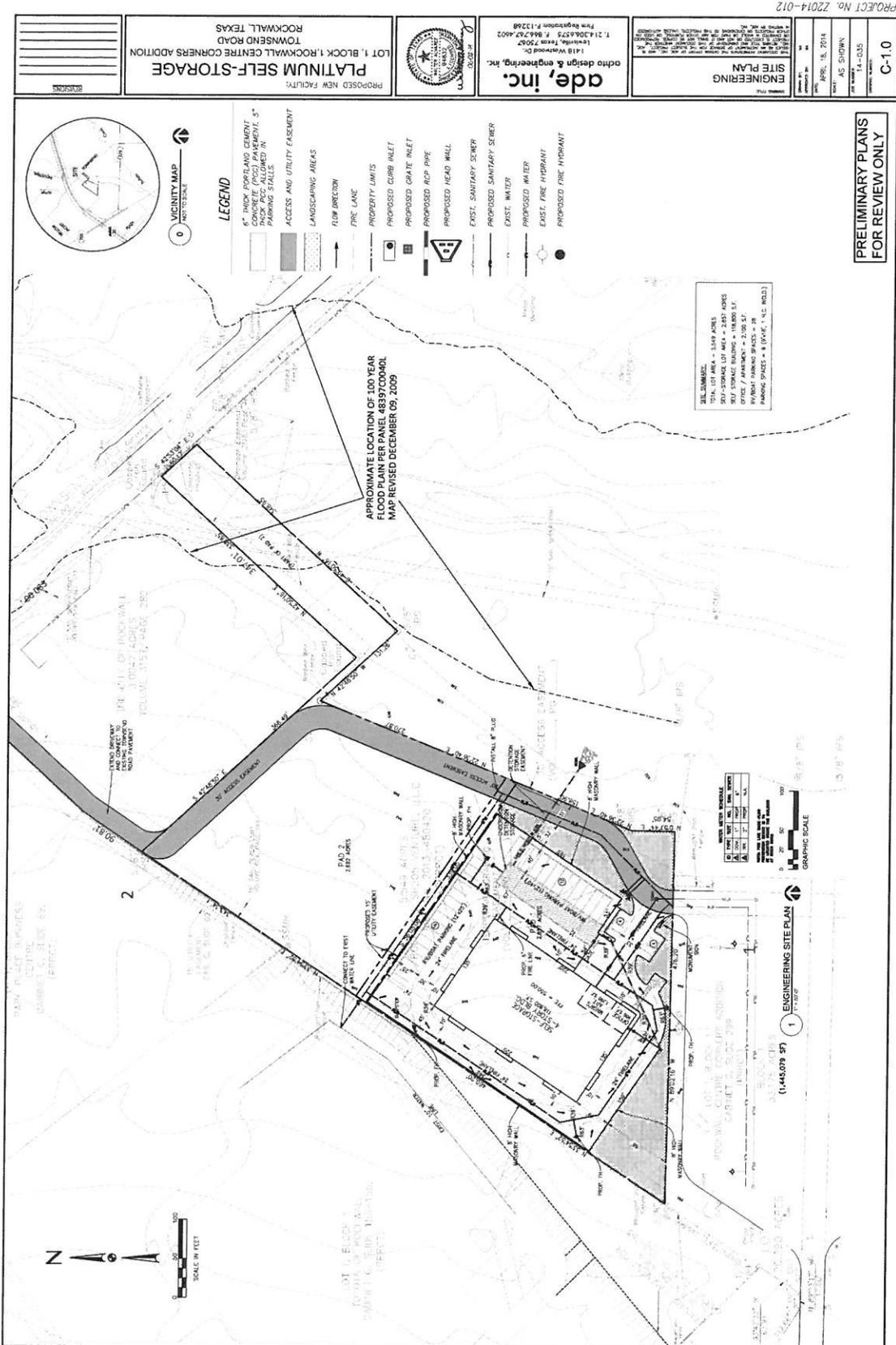


Exhibit C: Concept Building Elevations

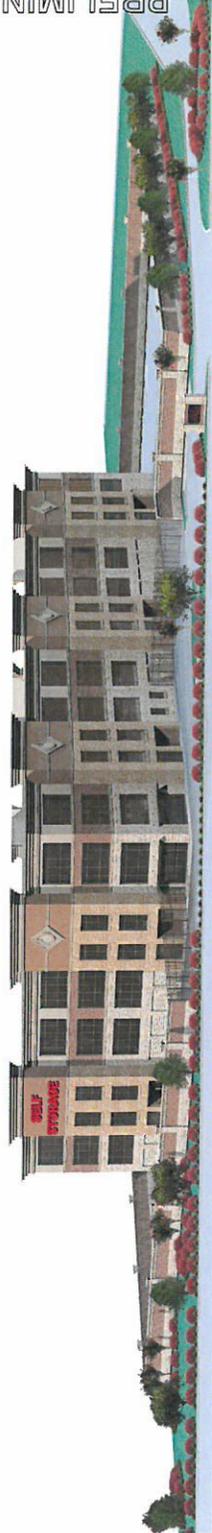
REVISION							
NO.							
PROPOSED NEW FACILITY: SELF-STORAGE TOWNSEND ROAD ROCKWALL, TEXAS					BUILDING SYSTEMS, LLC CONCEPTUAL ELEVATIONS DATE: 06/15/2014 SCALE: AS SHOWN DRAWN: J.S. JOB: 14014 SHEET: A4		
PRELIMINARY - NOT FOR CONSTRUCTION							



1 EAST ELEVATION
NOT TO SCALE



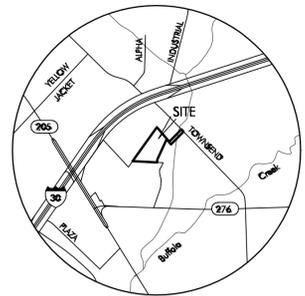
2 SOUTH ELEVATION
NOT TO SCALE



3 PERSPECTIVE VIEW
NOT TO SCALE

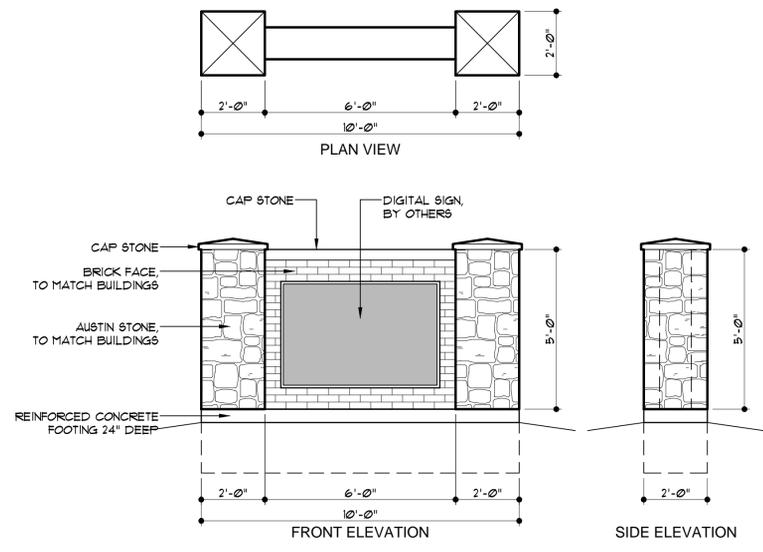
CASE NUMBER: Z2014-012

NO.	REVISION
1	07-24-2015
2	08-14-2015

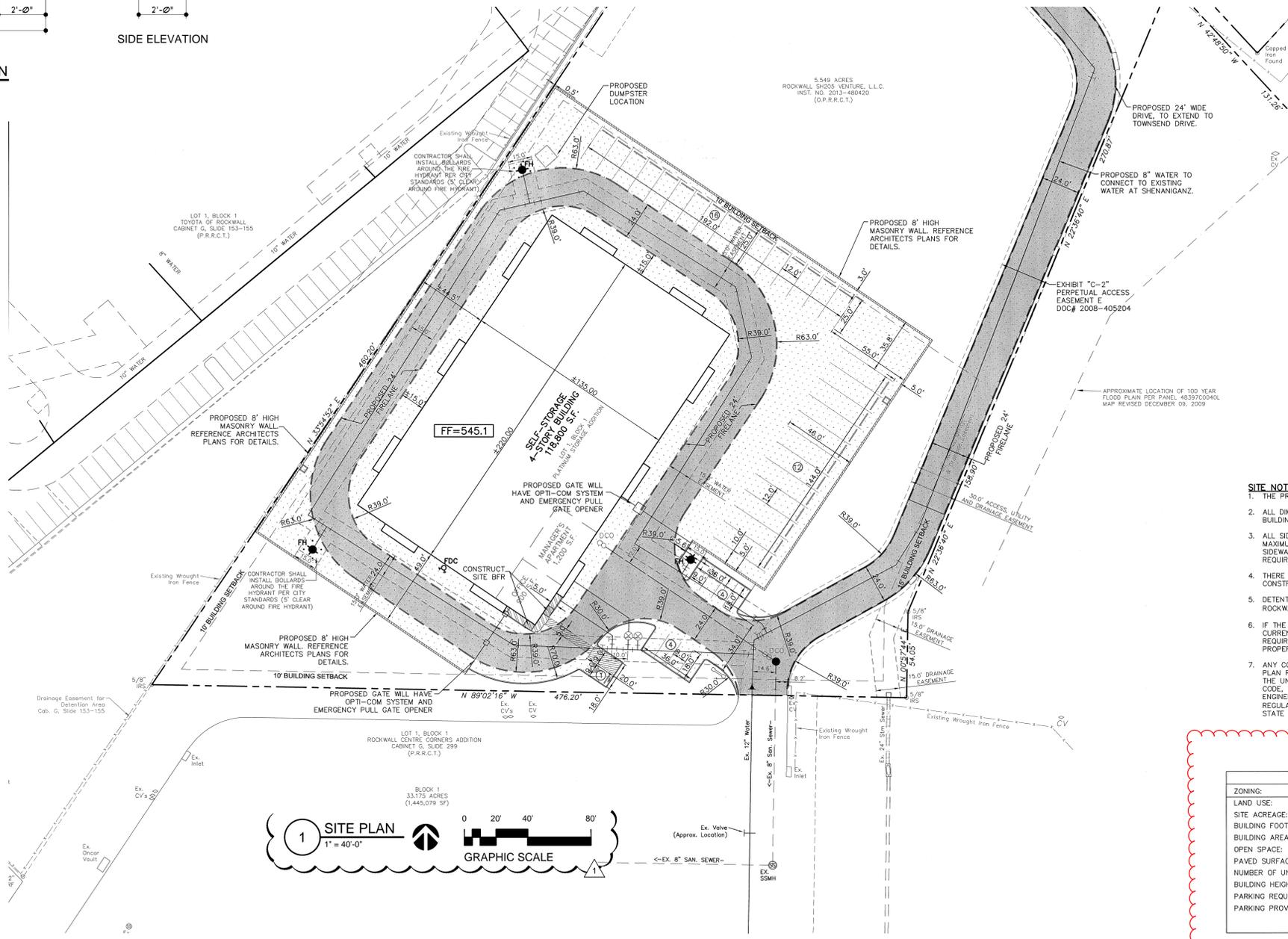


0 VICINITY MAP
NOT TO SCALE

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087



2 MONUMENT SIGN
3/8" = 1'-0"



SITE DATA TABLE FOR LOT 1	
ZONING:	SUP NO.: S-121
LAND USE:	SELF STORAGE
SITE ACREAGE:	2.857 ACRES (124,468 SQ FT)
BUILDING FOOTPRINT:	30,700 SQUARE FEET
BUILDING AREA:	122,800 SQUARE FEET
OPEN SPACE:	43,254/124,468 : 34%
PAVED SURFACE AREA:	50,513/124,468 : 40%
NUMBER OF UNITS:	579
BUILDING HEIGHT:	4 STORIES (50' 00" HEIGHT)
PARKING REQUIRED:	MINIMUM 2 PARKING SPACES
PARKING PROVIDED:	28 RV/BOAT PARKING SPACES 9-9'x18' PARKING SPACES (1 HANDICAPPED INCLUDED)

- SITE NOTES:**
1. THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ECT AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION WILL BE PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 6. IF THE DRIVEWAY AT TOWNSEND DRIVE DOES NOT MEET THE CITY'S CURRENT REQUIREMENTS FOR FIRE LANE, THE APPLICANT WILL BE REQUIRED TO UPGRADE THE DRIVEWAY TO ENSURE THE SUBJECT PROPERTY HAS PROPER FIRE PROTECTION.
 7. ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNITED DEVELOPMENT CODE, THE 2009 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.



!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN; IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ENGINEER:
CUMULUS DESIGN, INC.
FIRM #14810
P.O. BOX 2119
EULESS, TEXAS 76039
PH: 214-235-0367
FAX: 214-235-0546

OWNER:
RON WALK
1834 S.FM 551
FATE, TEXAS 75189

**NOTE: BUILDING/CONSTRUCTION PLANS
COVER PAGE**



4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-336-6596
FAX: 817-336-6595
WWW.JLLBUILDINGS.COM



FLOOR PLAN
1ST. LEVEL

Date 04-16-2015
Scale As Noted
Drawn JLL
Job 14014
Sheet

A1.0



Masterplan

Explanation of Request

South and east of IH30, south and west of Townsend Road

Site:

The 2.857-acre SUP site, located north of Costco and southeast of the Toyota dealership, is developed with a 4-story, 119,000-square foot climate controlled self storage facility operated by Cube Smart. The facility also includes 29 outside vehicle storage spaces for lease.

Specific Use Permit:

The City of Rockwall adopted Specific Use Permit 121 (S-121, Ordinance 14-25) on July 7, 2014, authorizing development of the 4-story 118,800-square foot self storage facility. The City of Rockwall issued the building permit in August of 2015 and after construction and inspection, a certified of occupancy in September of 2016. The property is in the process of undergoing a change of ownership. During review of site development data, a few discrepancies were found between S-121, the permitted building plans, and the actual facility. The request is to modify the SUP to align with actual development to address non-conformities that present real estate or transactional issues. The items requested to be addressed include:

Maximum storage unit count: The concept plan exhibit tied to S-121 cites a maximum storage unit count of 579 units. A total of 579 units is also referenced on the site plan carried forward and included in the approved building plans; however, the floor plans in the same approved building plan set shows 827 units. The facility was constructed with over 800 units initially, but the number of interior units has been decreased to 778 currently. This flexibility is needed to adapt and meet customer needs of certain unit sizes. The change in sizes impacts the total number of units.

The “579” figure was inadvertently placed on the site plan and conveyed as part of the SUP application materials. As such, the total count of 579 units cited as part of the SUP application was an oversight and underrepresented the total number of units planned for a facility of this type and size. Self-storage facilities that are multi-story, and predominately climate-controlled generally have a disproportionate number of smaller units of 5’ x 5’ or 5’ x 10’ as opposed to a greater number of larger units found with one-story conventional facilities with drive up access. The subject facility’s mixture caters to domestic needs where smaller units accommodate a limited amount of stored goods that customers can comfortably transport in an elevator to an upper story. Platinum Storage, the developer and currently a minority owner of the facility, always intended to accommodate 800 or more total storage units depending on the fluctuating sub-market demand from customers. The floor plans submitted as part of the building plans supports this intent. Furthermore, there are several multi-story self storage facilities

in DFW that have unit counts between 700 to 1,000 units or more. The chart at the bottom of the next section provides a few examples of comparable facilities.

Maximum unit density: The City of Rockwall, unlike most municipalities, limits the unit density of self storage facilities with a cap of 125 units per acre. S-121 allowing a maximum of 579 units on 2.857 acres, yields a density of 202 units per acre. The approved building plans allowing 827 units, yields a density of 289 units per acre. The proposal of 794 units would yield a density of 278 units per acre. As may be recalled, the property is buried behind and at a lower elevation than adjacent retail buildings. Thus, for this type of facility to have the visibility necessary to be successful, it had to be constructed at four stories in height, and a density that supports and that is commensurate with the invested infrastructure. The maximum density in the development code of only 125 storage units per acre would merely accommodate the first generational one story non-climate controlled facilities. It is common for three- and four-story self storage facilities to yield densities around 200 units per acre or more. The City of Rockwall’s density parameter would never accommodate a modern multi story class A climate controlled facility unless the land for which it sits coincidentally were large enough to minimize the density. The number of units and density of this facility is not uncommon. Here are some of the many modern class A facilities in DFW that have comparable characteristics of scale and high density:

FACILITY	ADDRESS	CITY	FLOOR AREA	NO. OF UNITS	DENSITY UNITS/PER ACRE
Storage 365	3400 Post Oak Boulevard	Fort Worth	151,000	966	241
CubeSmart	6831 W. Northwest Highway	Dallas	80,000	528	704
Storage 365	3940 Plano Parkway	Plano	119,600	885	640
Storage 365	2696 Burney Road	Arlington	152,400	1,059	185
Storage 365	Abrams	Richardson	149,000	1,041	400
Public Storage	2104 Hedgcoxe	Plano	103,000	805	206

Maximum floor area: The concept plan exhibit tied to S-121 cites a maximum floor area of 118,800 square feet. The approved building plans cite a maximum floor area of 124,480 square feet. The most recent survey of the property reflects a building floor area of 119,000 square feet. The proposed SUP amendment would modify the maximum floor area to align with the approved building plans from 118,800 to 119,000 square feet. The discrepancy in total floor area is minor and inconsequential particularly considering the scale of the development and the lack of occupancy and intensity of a self storage development. The difference in floor area is imperceptible and poses no harm or detriment to the health, safety and welfare.

Parking compliance: The off-street parking requirement is based on the number of storage units. The City of Rockwall requires a base of three parking spaces and one parking space for each 100 storage units. The SUP amendment would include adjusting the required parking from nine to 11 to align with the adjustment to the total number of storage units. There are currently nine parking spaces on-site.



The enclosed updated Concept Plan reflects striping two additional parallel spaces on existing concrete near the office to provide a total of 11 spaces to satisfy the parking requirement. Self storage facilities generate minimal traffic of 2 to 4 visitors per hour. Moreover, most visitors are customers who would park in an unloading/loading area adjacent to the building as opposed to a conventional parking space. Conventional parking spaces are typically used by one employee, the occasional prospective customer visiting the office, or an occasional service or delivery truck. As such, most of the 11 parking spaces (or currently nine spaces) go underutilized. Nonetheless, the proposal includes adjusting the supply to comply with the city’s parking requirements.

Outside vehicle storage spaces: SUP-121 grants 28 outside vehicle storage spaces for recreational vehicles, boats, and other large vehicles. There is capacity for one additional storage space at the far northern corner near the dumpster. The request includes authorization to allow the one additional storage space for a total of 29 outside vehicle spaces. The entire vehicle storage area is completely enclosed and screened from adjacent properties. The one additional space has no impact to adjacent properties. Below is a summary of the discrepancies in chart form:

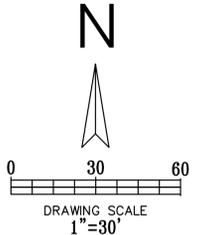
DEVELOPMENT STANDARD	SPECIFIC USE PERMIT (SF)	APPROVED BUILDING PLANS/CO	ACTUAL	PROPOSED
Floor area	118,800	124,480	119,000	119,000
Total units	579	827	778	794
Unit density	203	289	273	278
Parking required (3 + 1/100 units)	9	12	11	11
Outside vehicle spaces	28	28	29	29
Parking provided	9	9	9	11

Masterplan requests amendment of SUP - 121 to align the development site data in the Specific Use Permit ordinance with the permitted and actual development. The developer always intended to have approximately 800 units, not unlike many comparable facilities in DFW. We ask the city to approve the amendment to resolve these matters. The facility is the only one of its kind in the sub-market and it caters to customers who prefer to use a climate control facility in a retail area vs. a conventional one story drive up facility in an industrial area. The facility is at 89% capacity, indicating there is strong demand and no oversupply. The previously presented size and scale of the building is generally consistent with actual development. Also, the total number of units and density of self storage, as opposed to apartments or office, has minimal if any realized impact on the area given the very limited traffic generation and lack of consistent human occupancy of these facilities. The site accommodated one additional vehicle storage space at the north/northwest corner of the site.

THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAIGON, P.E. NO. 112767 ON 10/21/20.

CONCEPT PLAN
 SELF-STORAGE ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

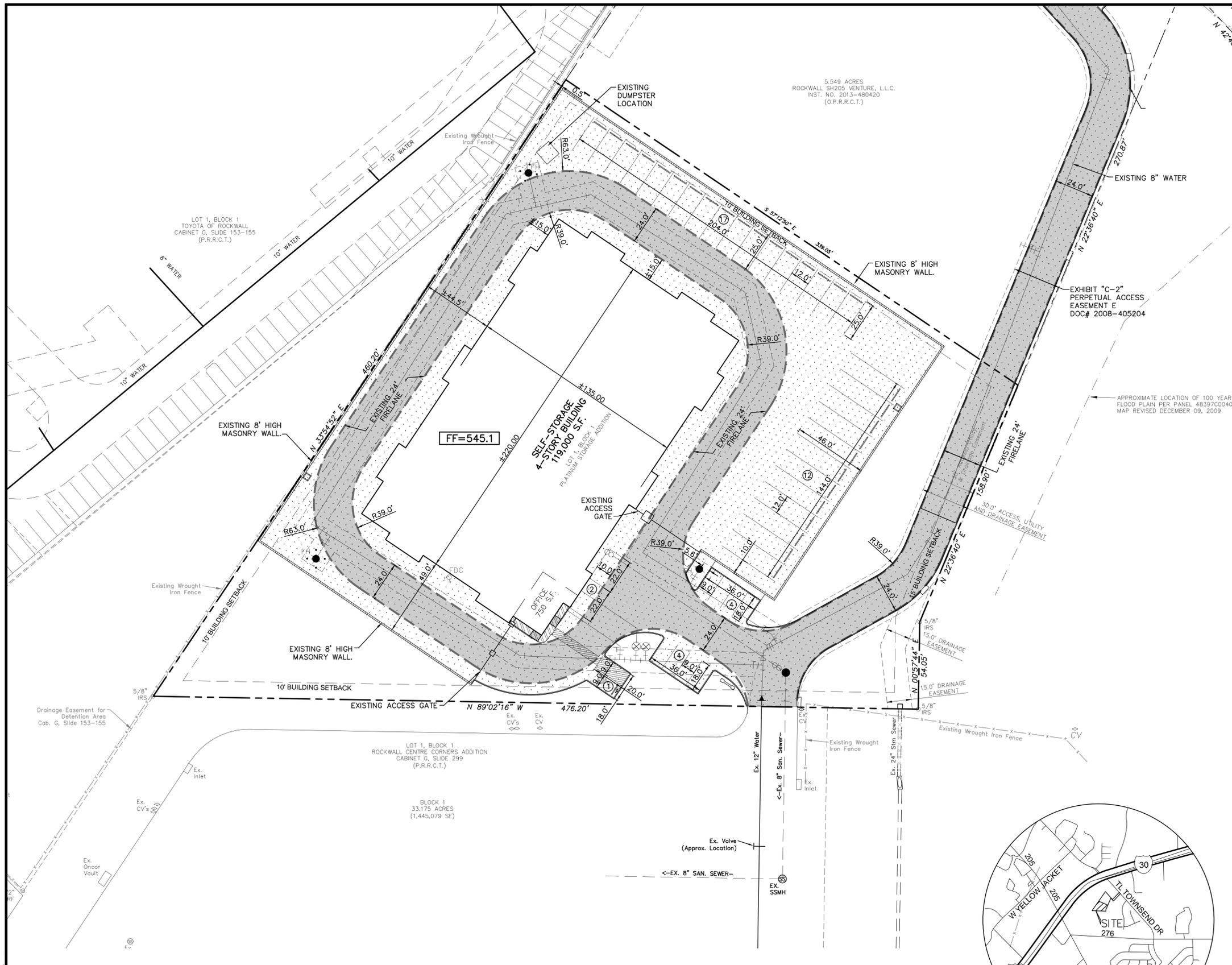
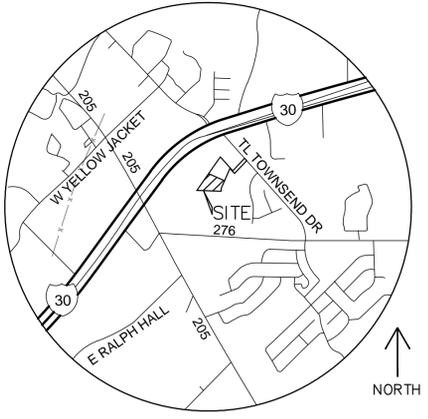
PLOT DATE	10/21/20
DRAWING SCALE	1" = 30'
PROJECT NUMBER	CD14111
SHEET NUMBER	CP



- LEGEND**
- EXISTING CURB
 - Ⓢ — PARKING SPACES IN A ROW
 - Ⓛ — EXISTING LANDSCAPING
 - ▨ — EXISTING CONCRETE SIDEWALK
 - ▤ — EXISTING CONCRETE DRIVES AND PARKING
 - — FIRE LANE

- SITE NOTES:**
1. THE EXISTING BUILDING IS FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ECT AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION IS PROVIDED FOR THE EXISTING DEVELOPMENT.
 6. THERE IS NO PROPOSED CONSTRUCTION AS PART OF THIS APPLICATION.

SITE DATA TABLE	
ZONING:	SUP NO.: S-121
LAND USE:	SELF STORAGE
SITE ACREAGE:	2.857 ACRES (124,467 SQ FT)
BUILDING FOOTPRINT:	30,950 SQUARE FEET
BUILDING AREA:	119,000 SQUARE FEET
NUMBER OF UNITS:	794
BUILDING HEIGHT:	4 STORIES (50'-0" HEIGHT)
PARKING REQUIREMENT:	3 SPACES + 1 SPACE PER 100 UNITS
PARKING PROVIDED:	11 SPACES
PARKING PROVIDED:	11-9'x18' PARKING SPACES (1 HANDICAPPED INCLUDED)
RV/BOAT PARKING SPACES:	29 SPACES



!!! CAUTION !!!
UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ENGINEER:
 CUMULUS DESIGN, INC.
 FIRM #14810
 P.O. BOX 2119
 EULESS, TEXAS 76039
 PH: 214-235-0367
 FAX: 214-235-0546

OWNER:
 WOLVERINE SELF-STORAGE
 INVESTMENTS-ROCKWALL EDP LLC
 4057 VEGA LOOP
 SHINGLE SPRINGS, CA 95682

Vertical text on the left margin: 'Cumulus Design, Inc. is not responsible for the accuracy of the information provided in this drawing without the express written permission of Cumulus Design, Inc.' and 'This drawing is the property of Cumulus Design, Inc. and shall not be reproduced or used in any way without the express written permission of Cumulus Design, Inc.'

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *EXISTING MINI-WAREHOUSE FACILITY* ON A 2.857-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP for the approval of a Specific Use Permit (SUP) for an *Existing Mini-Warehouse Facility* for the purpose of amending S-121 [Ordinance No. 14-25] to account for as-built conditions on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District], addressed as 1245 SH-276, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 14-25*; and,

SECTION 2. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Existing Mini-Warehouse Facility* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(J)(1), *Mini-Warehouse*, of Article 04, *Permissible Uses*, and the development standards

contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) All construction and operations on this property shall generally conform to the *Concept Plan* contained in *Exhibit 'B'* and the *Building Elevations* contained in *Exhibit 'C'* of this ordinance.
- 2) The maximum number of storage units permitted on the *subject property* shall be 794-units.
- 3) All transparent fences shall be wrought iron, and when necessary shall incorporate landscaping/living screening to screen the interior of the facility. Chain-link fencing is prohibited.
- 4) The height of the building shall not exceed four (4) stories or 60-feet in total height.
- 5) Outside storage shall be limited to the areas depicted on the *Concept Plan* in *Exhibit 'A'*, and shall be entirely screened by a row of evergreen trees (*i.e. Leyland Cypress*) to be planted along the eastern property line. No outside storage of any kind shall be permitted outside of the areas depicted on the *Concept Plan*. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks and trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on this site.
- 9) All poles shall be limited to a maximum height of 20-feet and all light fixtures proposed for the site shall comply with the requirements of the Unified Development Code (UDC).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF DECEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Legal Description and Location Map

Address: 1245 SH-276

Legal Description: Lot 4, Block A, Platinum Storage Addition



Exhibit 'A'

Legal Description and Location Map

BEING a 2.857-acre tract of land, being a portion of a 5.549 acres tract of land recorded in instrument No. 2013-480420, situated in the *JOSEPH CADLE SURVEY, ABST#65* and the *N.M. BALLARD SURVEY ABST. #48*, in the City of Rockwall, Rockwall County, Texas, and being a portion of a 65.96 tract of land recorded in *Volume 4663, page 281* of the Official Public Records of Rockwall County, Texas and being all and being more particularly described as follows:

BEGINNING at 5/8-inch iron rod set for the northerly northwest corner of Lot 1, Block 1 of Rockwall Centre Corners Addition according to the plat recorded in *Cabinet G, Slide 299* of the *Plat Records* of Rockwall County, Texas and being located in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas;

THENCE along the southeasterly line of said Toyota of Rockwall Addition, NORTH 33°54'52" EAST a distance of 460.20-feet to a 5/8-inch iron rod to be set in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in *Cabinet G, Slide 153-155* of the *Plat Records* of Rockwall County, Texas and being the west corner of a 2.692 acre tract being a portion of a 5.549-acre tract of land recoded in *Instrument No. 2013-480420* Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southeasterly line of said Lot 1, Block 1, SOUTH 56°05'08" EAST a distance of 339.05-feet to a 5/8-inch iron road to be set in the southwest line of said 65.96-acre tract of land being the southeast corner of a 2.692-acre tract being a portion of a 5.549-acre tract of land recoded in *Instrument No. 2013-480420* Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southwest corner of said 2.692-acre tract of land and traveling through said 65.96-acre tract of land the following course and distances:

SOUTH 22°36'40" WEST a distance of 158.90 feet to a 5/8-inch iron rod set;

SOUTH 00°57'44" WEST a distance of 54.05 feet to a 5/8-inch iron rod set in the north line of said Lot 1 of Rockwall Centre Corners Addition;

THENCE along said north line, NORTH 89°02'16" WEST a distance of 476.20 feet to the *POINT OF BEGINNING*;

Exhibit 'C':
Building Elevations



1 EAST ELEVATION
1/8" = 1'-0" SCALE



2 SOUTH ELEVATION
1/8" = 1'-0" SCALE



3 PERSPECTIVE VIEW
1/8" = 1'-0" SCALE

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: Z2020-044
PROJECT NAME: SUP for 102 Thistle Place
SITE ADDRESS/LOCATIONS: 102 THISTLE PL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/22/2020	Approved w/ Comments

10/22/2020: Z2020-044; Specific Use Permit (SUP) for Residential Infill for 102 Thistle Place
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, and addressed as 102 Thistle Place.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.
- M.3 For reference, include the case number (Z2020-044) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within Phase 7 of the Chandler's Landing Subdivision, which was established on November 20, 1976, consists of 35 total residential lots, and currently only has three (3) vacant lots.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.
- I.6 According to Subsection 04.01(B) of Section 4, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street."
- M.7 In this case, the proposed garage door is situated in front of the front façade of the proposed home facing the street, and does not meet the requirements of the Unified Development Code (UDC). This garage configuration will require approval by the City Council as part of the Specific Use Permit (SUP) ordinance.
- M.8 Please review the attached Draft Ordinance prior to the October 27, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 3, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give

staff ample time to review the case prior to the November 10, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

I.10 The projected City Council meeting dates for this case will be November 16, 2020 (1st Reading) and December 7, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved w/ Comments

10/22/2020: M - Must include a plot plan with the building permit. This plot plan will need to show the entire property draining to the front of the lot.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls 18" and over must be rock or stone faced.

I - There is a 10' wide utility easement at the back of the property.

I - There is a 20' wide utility easement at the front of the property.

I - There is a 10' wide utility easement on the south of the property

I - No walls will be allowed in any easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/22/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

10/20/2020: no comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandler's Landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Coastal Plains estates

Applicant SA MC

Contact Person Casey Cox

Contact Person _____

Address 8400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail coastalplainsest@gmail.com

E-Mail _____

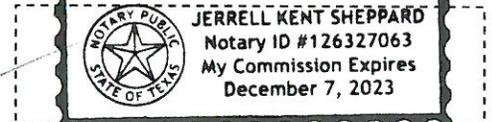
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

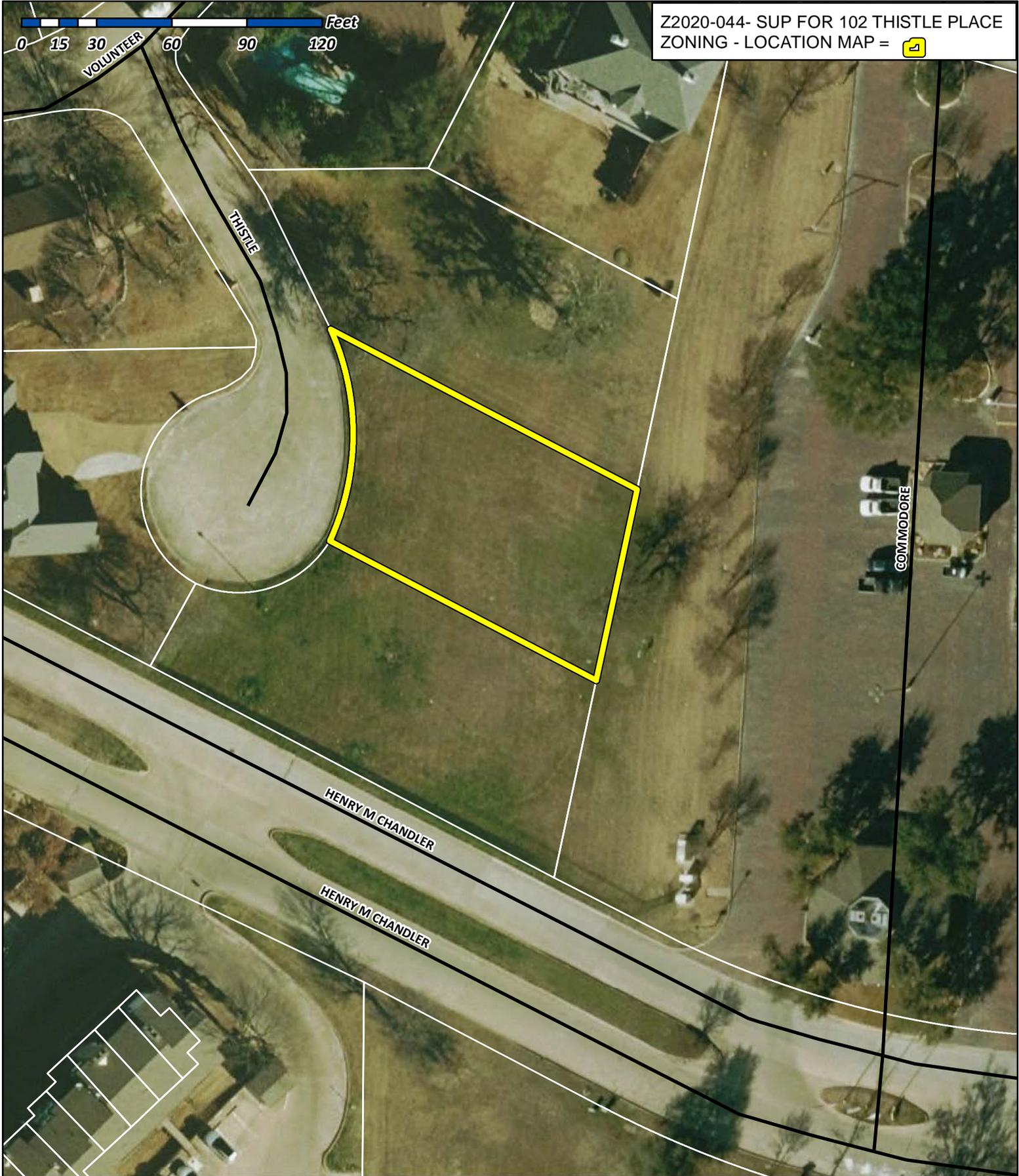
Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's Signature _____



Notary Public in and for the State of Texas _____

My Commission Expires _____



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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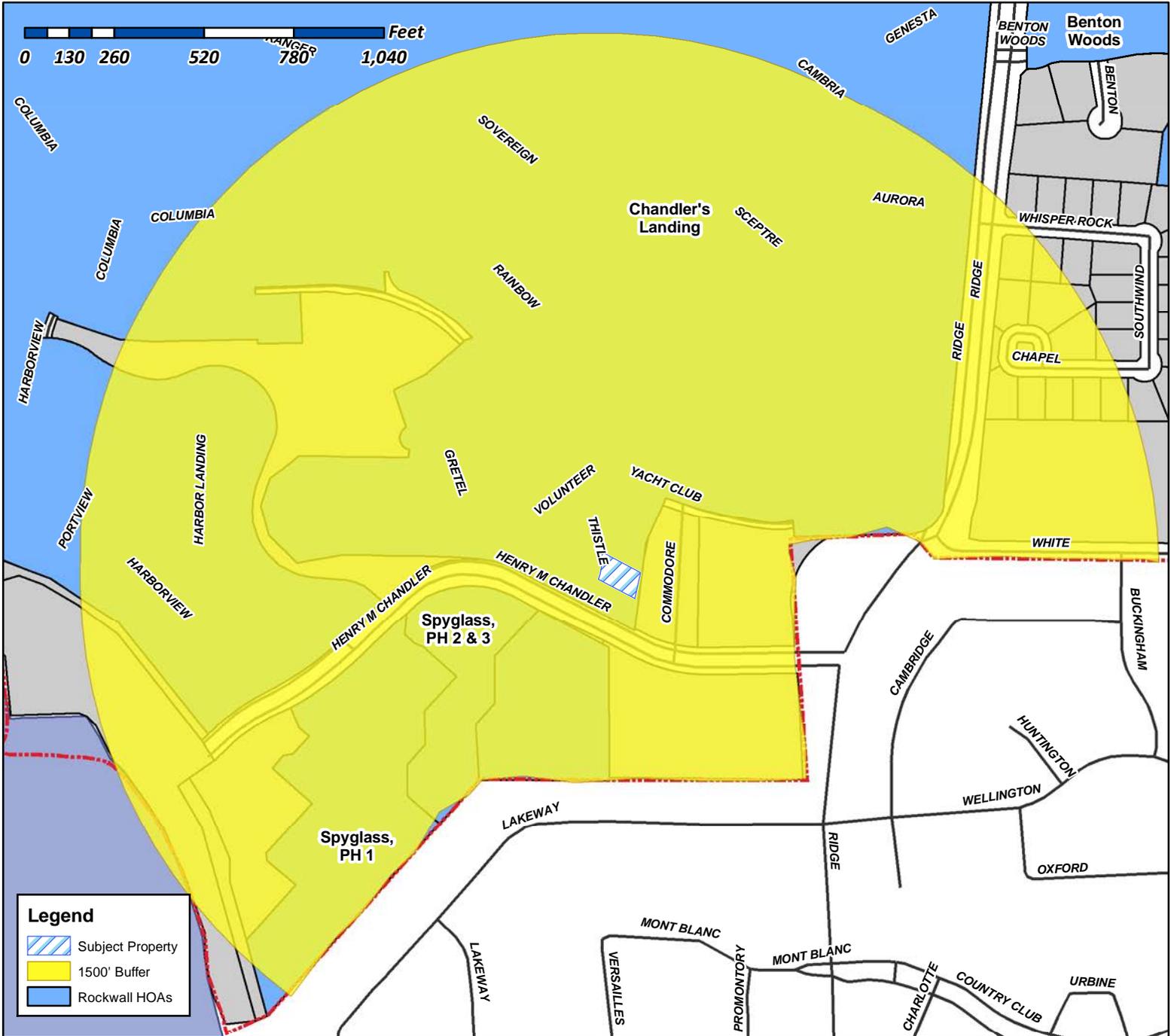




City of Rockwall

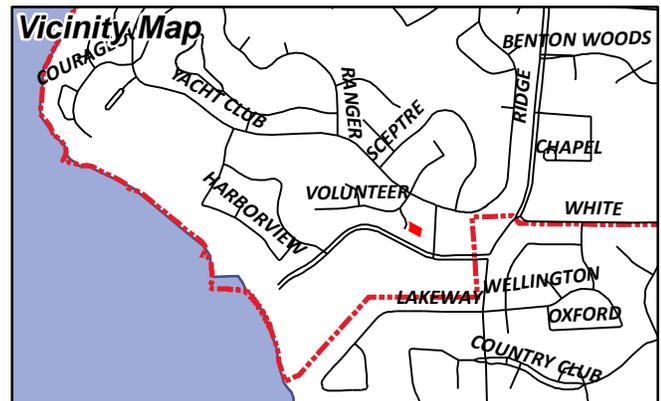
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

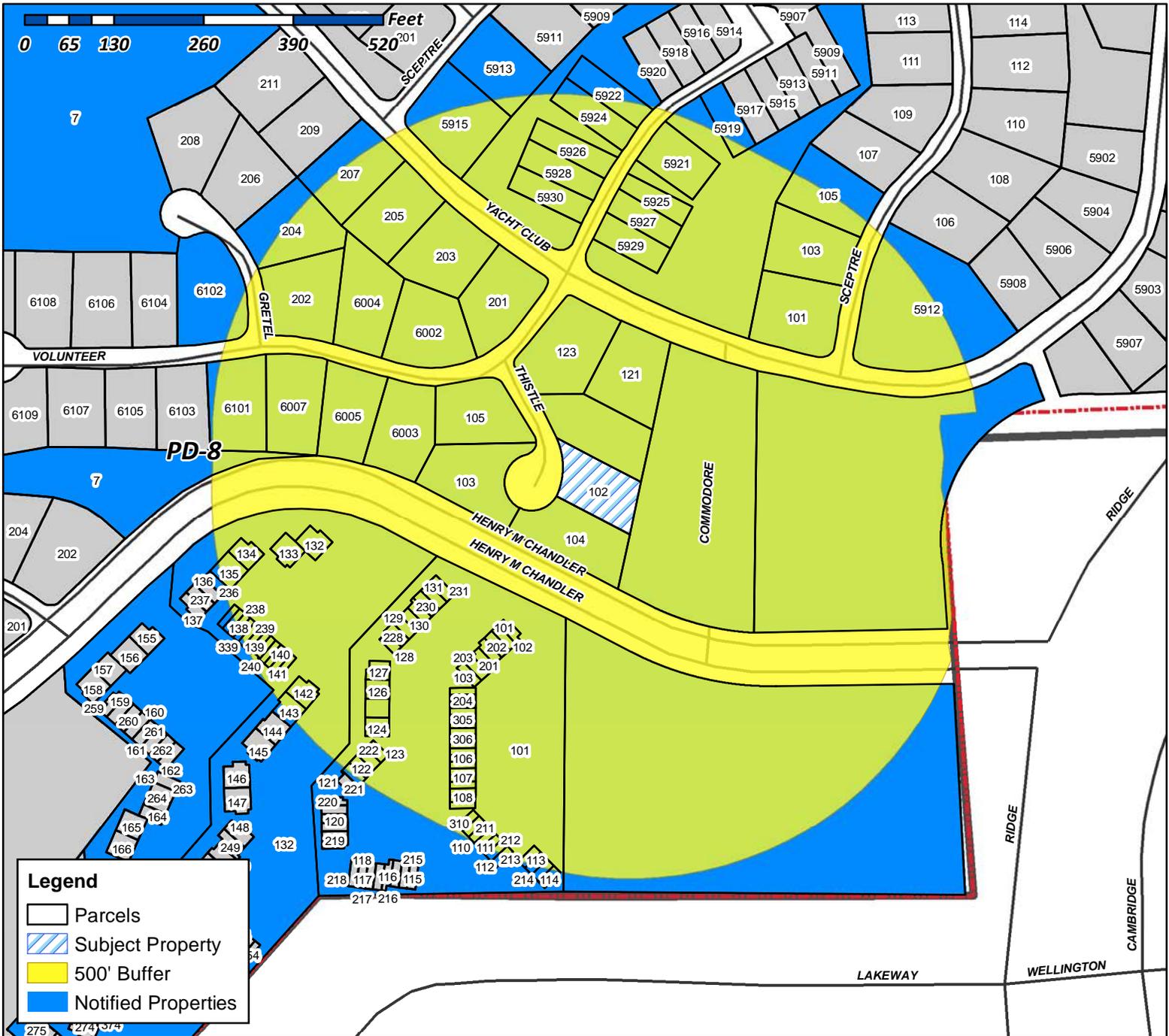
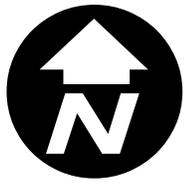
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

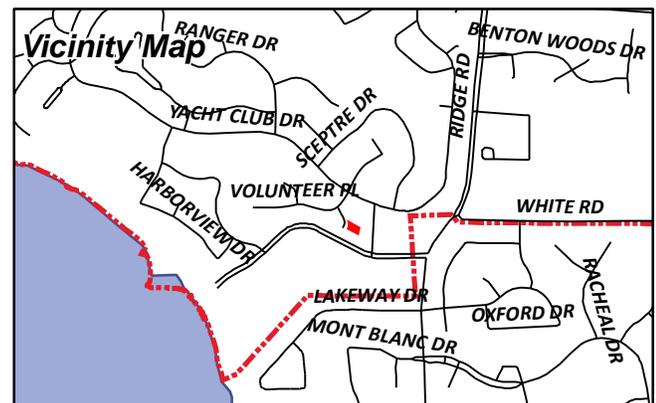
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020

For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCPMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLERDR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEER PL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEER PL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

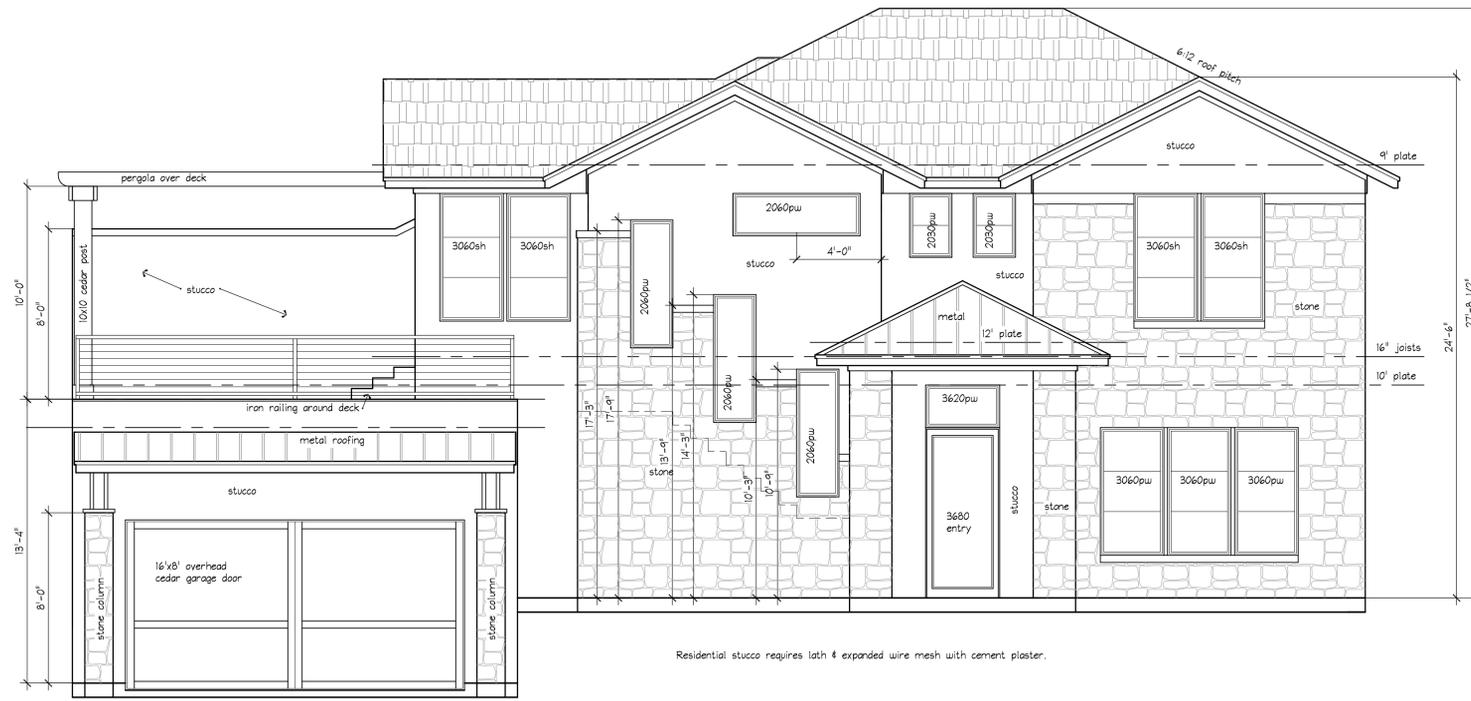
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

- 8/3/2020
- 8/11/2020
- 9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

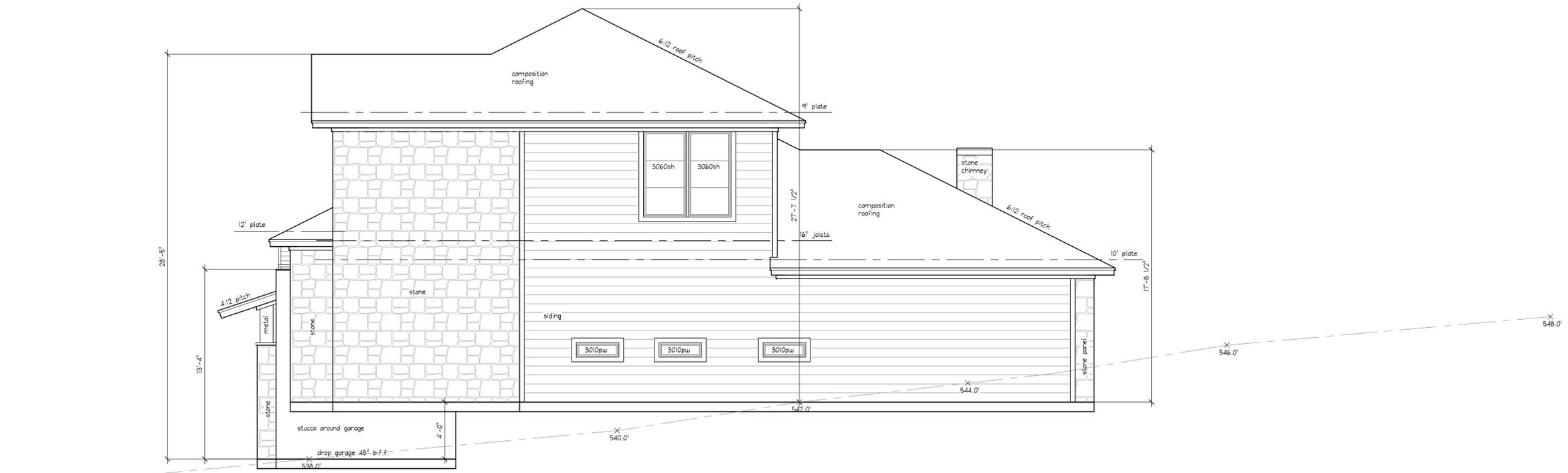
These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide structural or engineering services. It is the responsibility of the architect or engineering firm to ensure that all dimensions and specifications are correct and that all applicable codes and regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

A Custom House for :

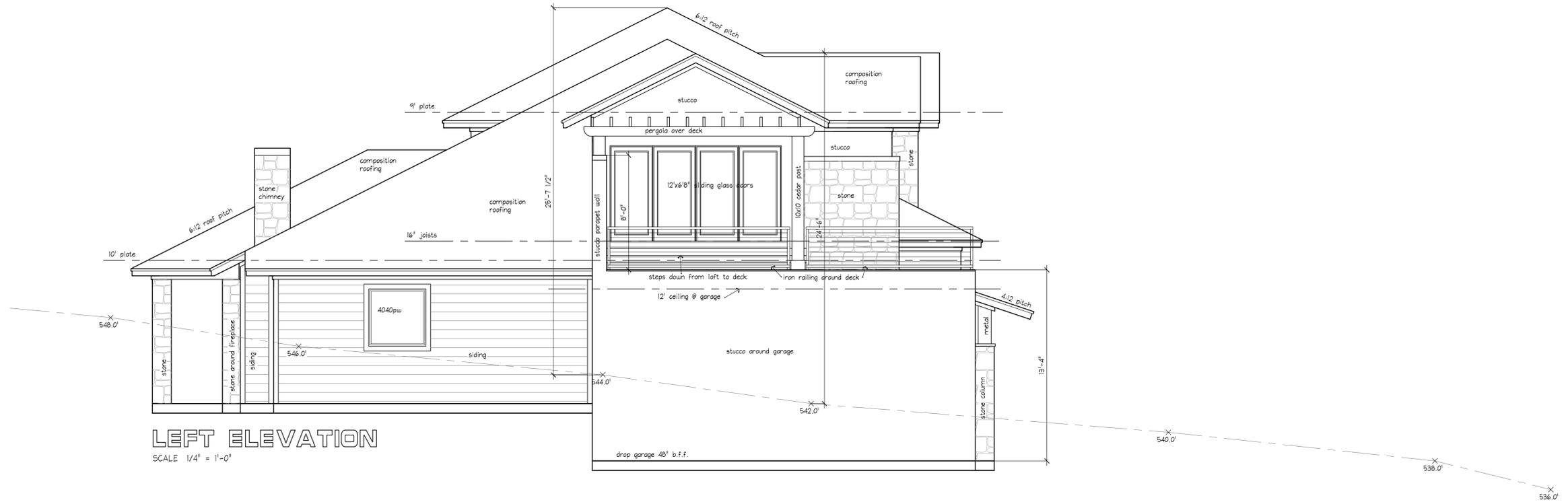
Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

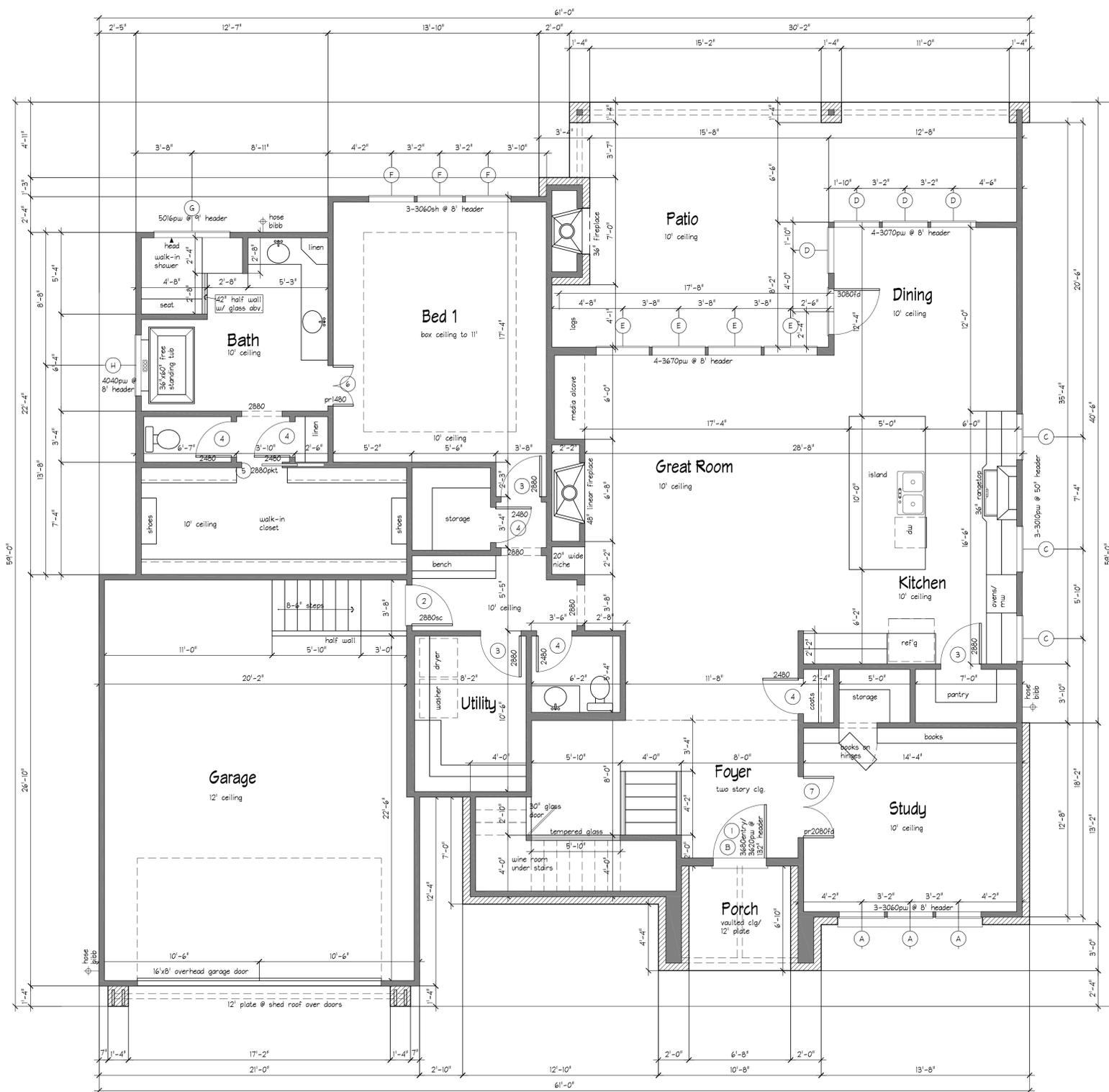


LEFT ELEVATION

SCALE 1/4" = 1'-0"

PLAN NOTES

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough opening size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
- Contractor shall coordinate all closet shelving requirements.
- Do not scale drawings, follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear operable width of 20", a minimum net clear operable height of 24", and have a maximum finish sill height of 43" from finish floor.
- All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper. For fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
- All walls and ceilings in garage and garage storage areas to have 5/8" type-X gyp. board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
- All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, tape float and sand. (3 coats) Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
- All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
- All plumbing walls (first and second floor) shall be 2x6.



Areas:

First Floor Living Area	2,054 sq. ft.
Second Floor Living Area	918 sq. ft.
Total Living Area	2,972 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

Doors Schedule:

ID#	Size	Description	Quantity
1	3680	Special Front Entry as Selected	1
2	2880	Interior Solid Core (1 hour rated)	1
3	2880	Interior as Selected	3
4	2880	Interior as Selected	3
5	2880	Interior as Selected	3
6	2880	Interior as Selected	2
7	2080	Interior as Selected	2
8	2468	Interior as Selected	2
9	2068	Interior as Selected	2
10	2468	Interior as Selected	2
11	2668	Interior Solid Core (1 hour rated)	2
12	12 x 6 8"	Exterior Sliding Glass Doors	2

Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	5
B	3070	Picture Window	1
C	3070	Picture Window	3
D	3670	Picture Window	4
E	3060	Single Hung	6
F	5016	Picture Window	1
G	4040	Picture Window	1
H	2060	Picture Window	1
J	2030	Picture Window	2
K			

A Custom House for:

Spec House
 102 Thistle Place
 Lot 24, Block A
 Chandlers Landing #7
 City of Rockwall, Texas

(c) copyright 2020 J. Karlovich Home Design

SHEET NO.

02

Coastal Plains Estates
 (618) 218-5339

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, not being an architectural or engineering firm stands no liability for structural or architectural design integrity. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

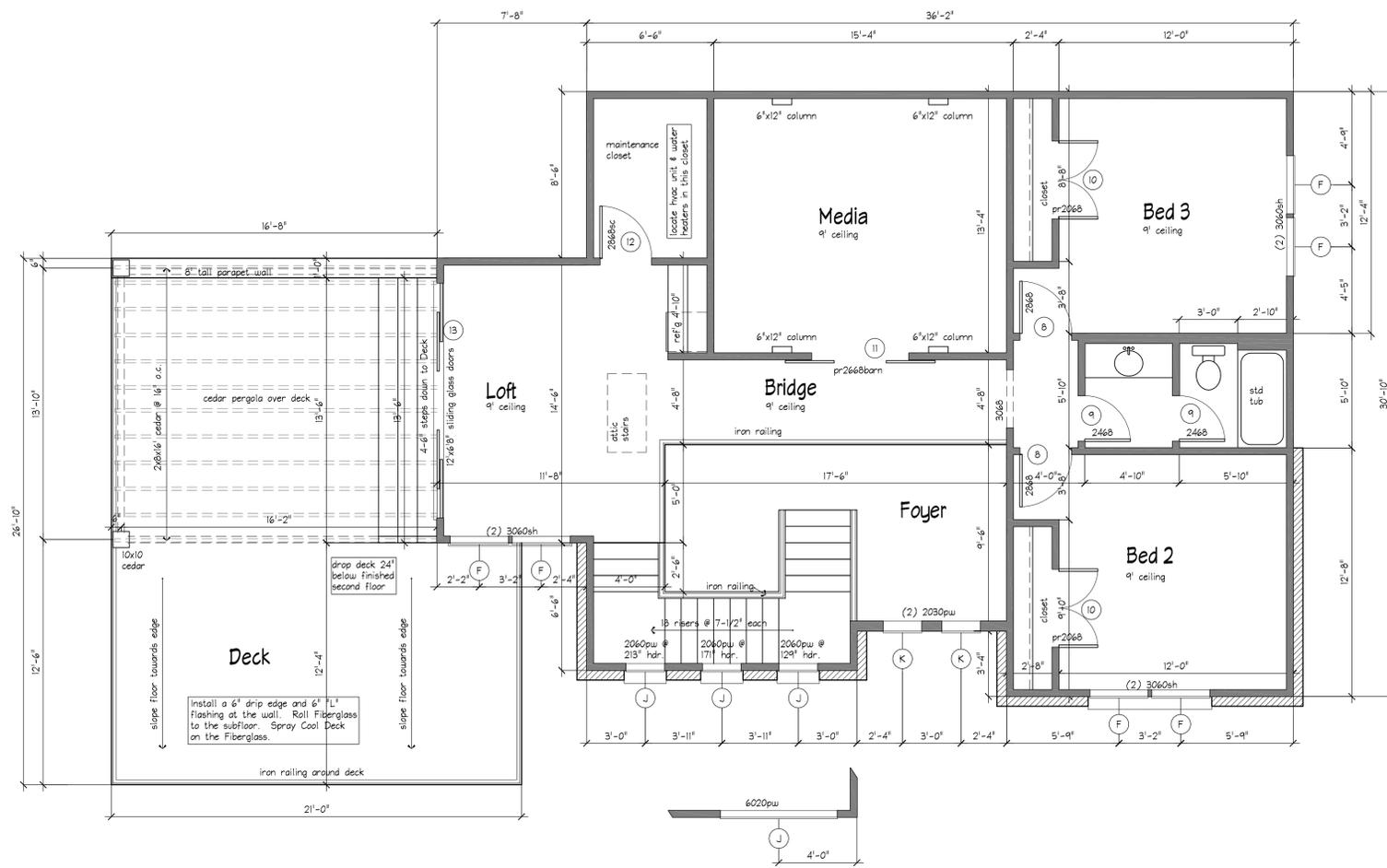
J. Karlovich
 Home Design
 (214) 674-0290 : Phone
 jkarlovichhomedesign.com

REVISIONS:

8/3/2020
 8/11/2020
 9/2/2020

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich
Home Design
(214) 674-0290 : Phone
jkarlovichhomedesign.com

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Coastal Plains Estates
(618) 218-5339

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

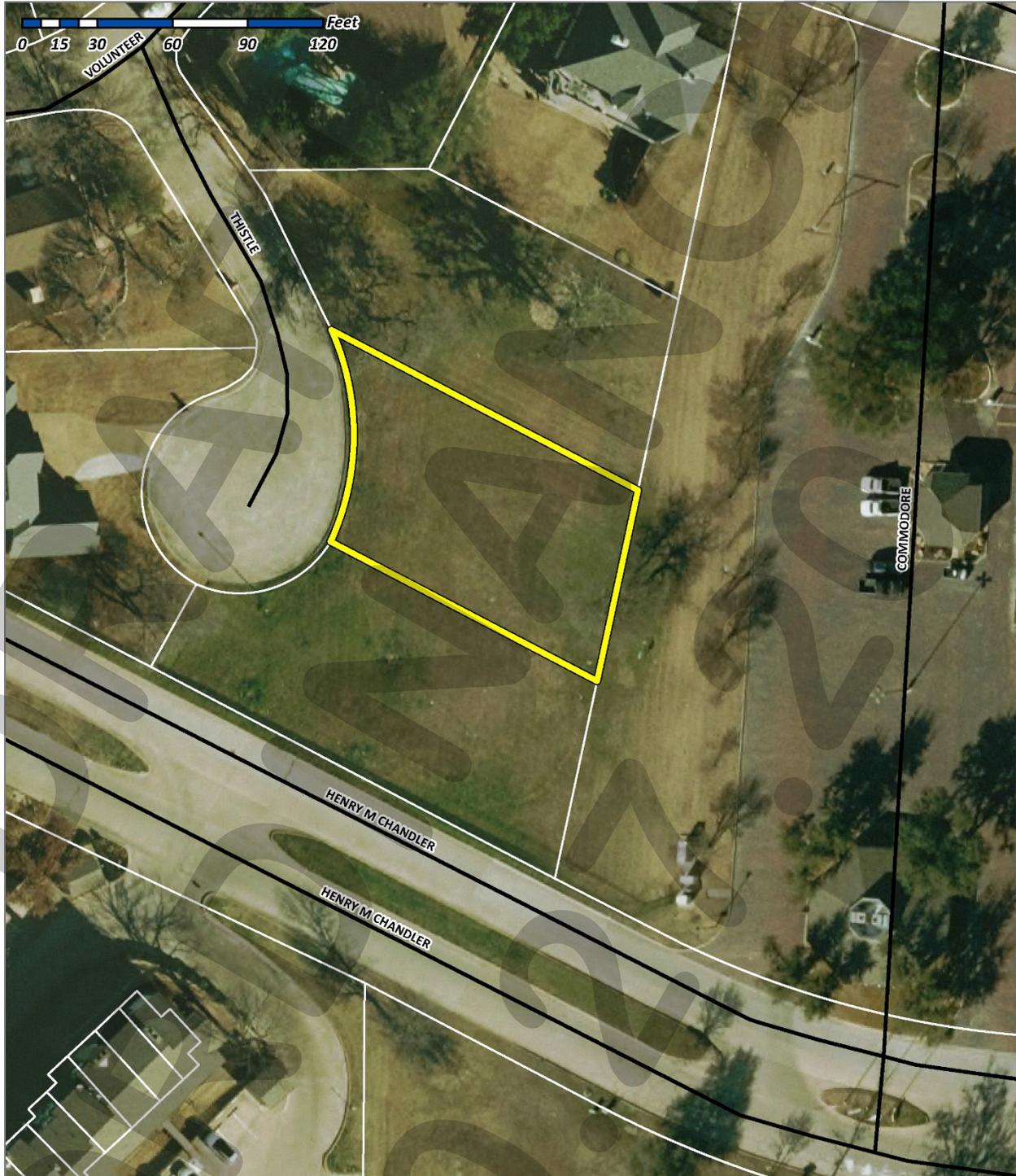
1st Reading: November 16, 2020

2nd Reading: December 7, 2020

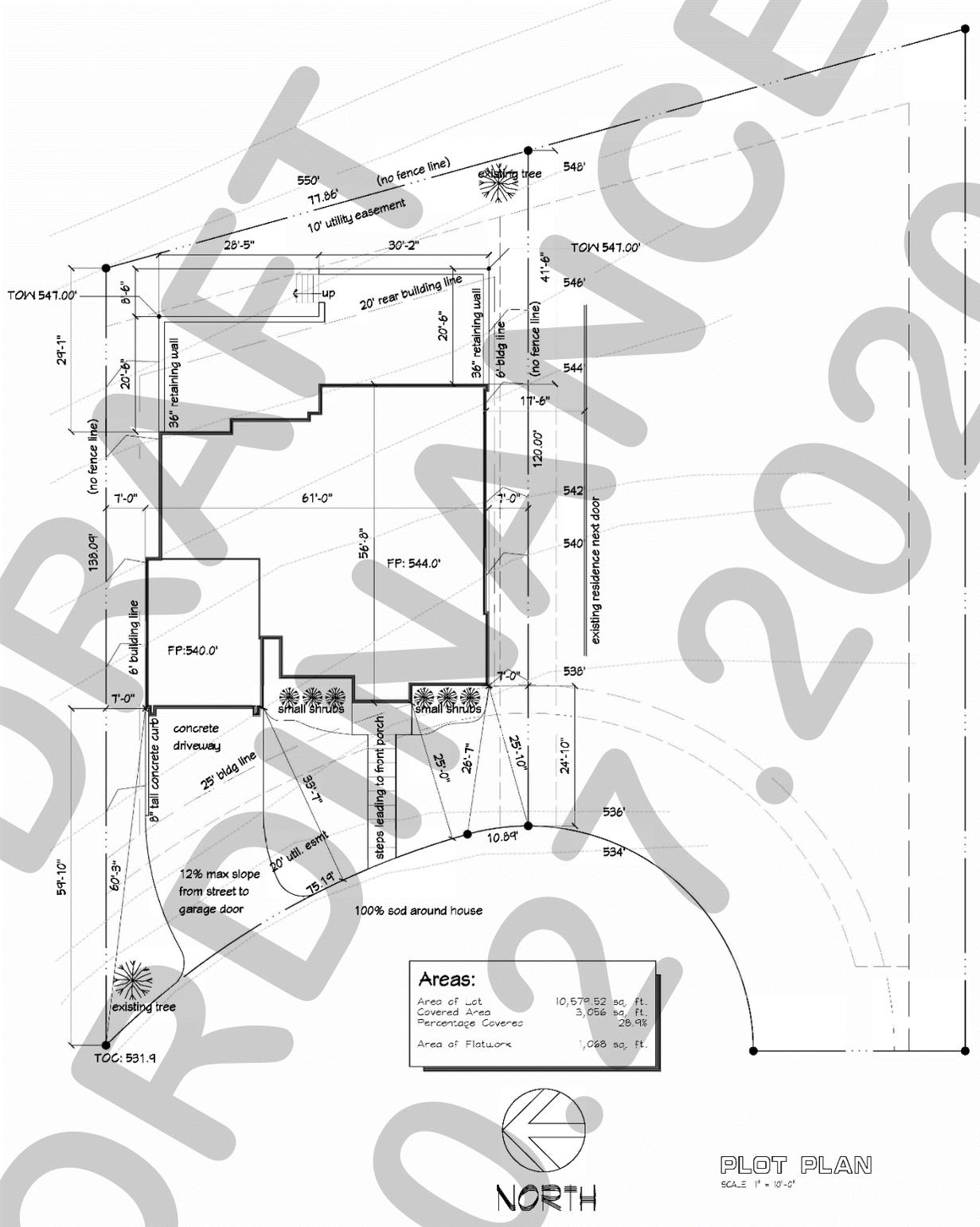
Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

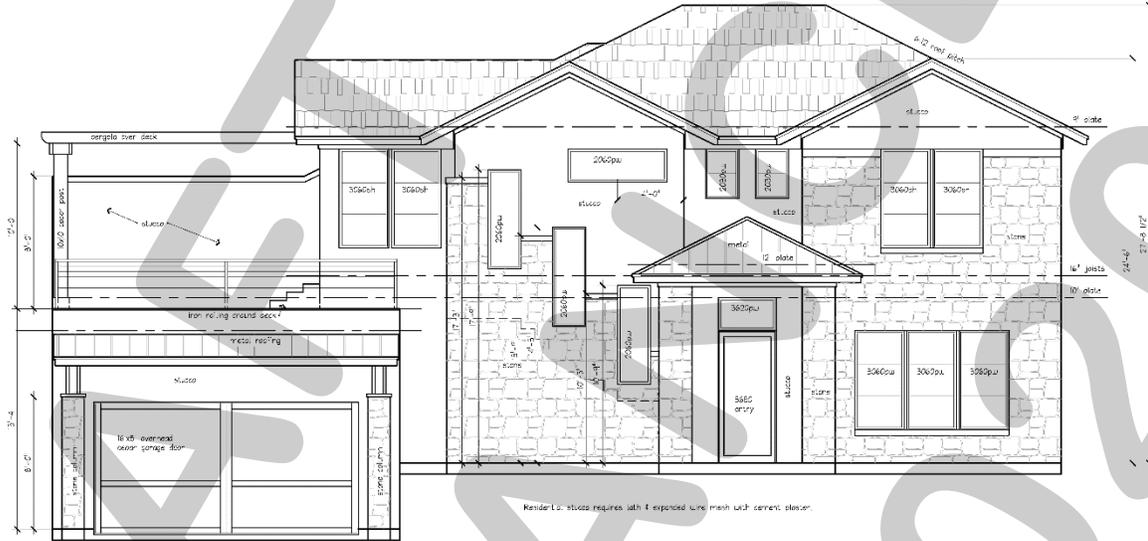
Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7



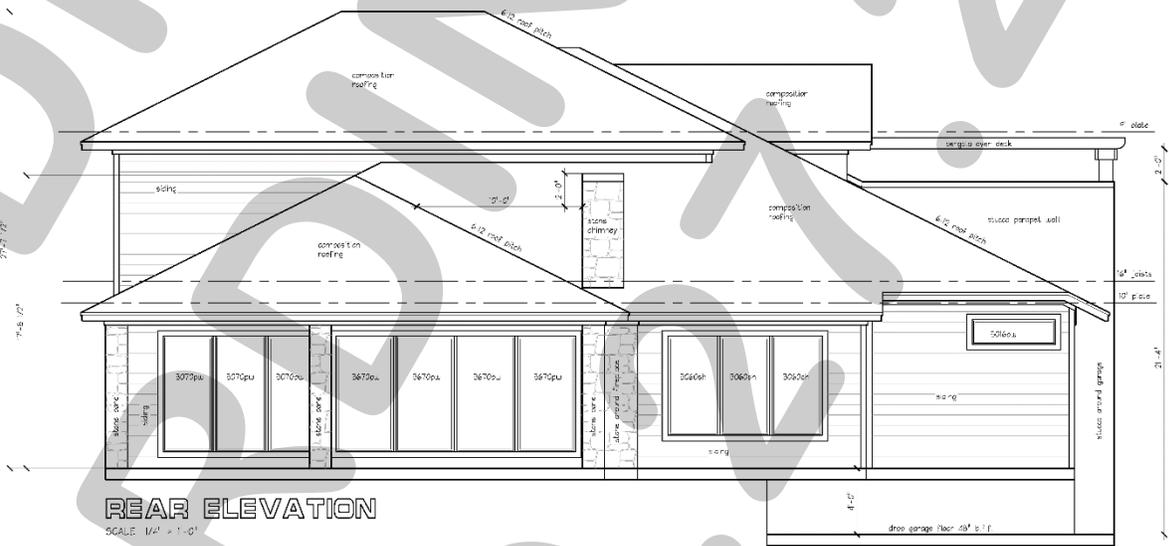
**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**

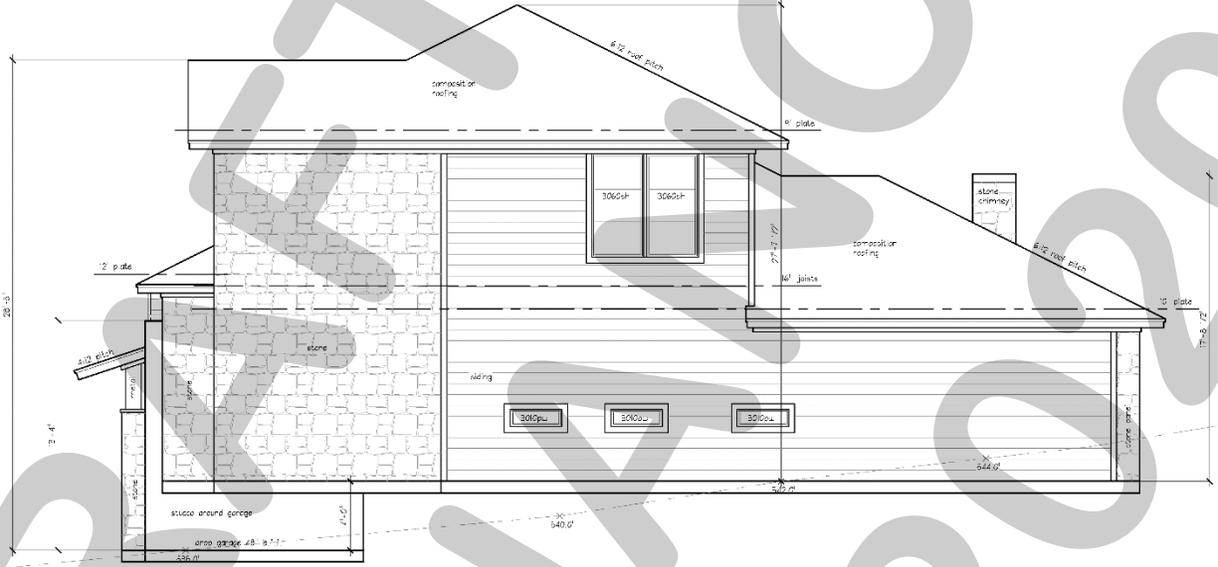


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

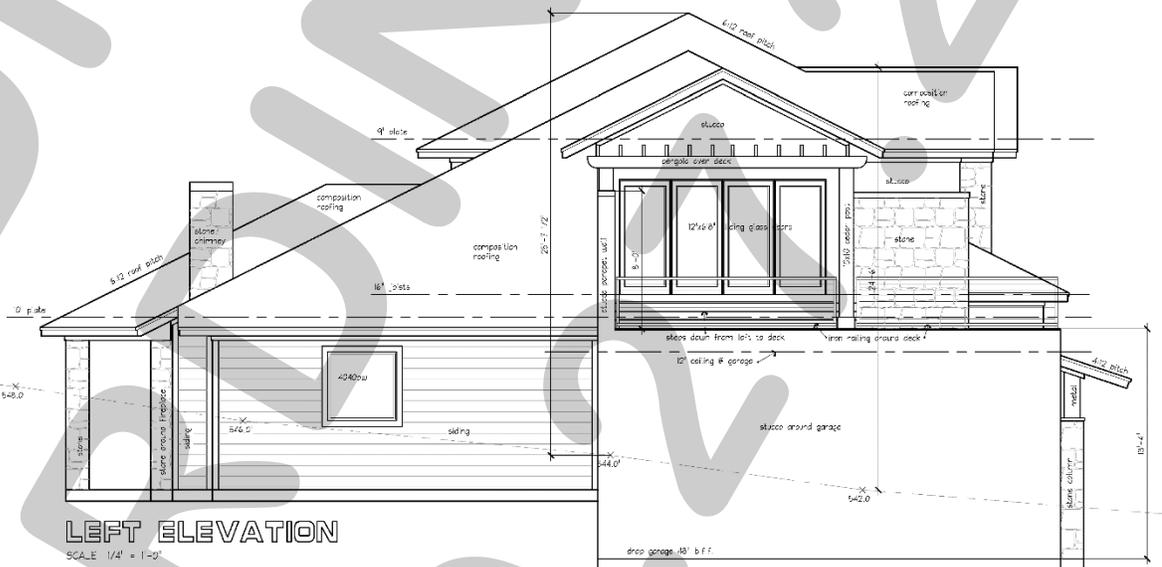


REAR ELEVATION
SCALE: 1/4" = 1'-0"

**Exhibit 'C':
Building Elevations**



RIGHT ELEVATION
SCA. E 1/4" = 1'-0"



LEFT ELEVATION
SCA. E 1/4" = 1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: Z2020-045
 PROJECT NAME: Nelson Lake Estates
 SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
 CASE MANAGER PHONE: 972-772-6438
 CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/21/2020	Approved w/ Comments

10/21/2020: Z2020-045; Zoning Change (NS & SF-16 to PD) for Nelson Lake Estates
 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, and generally located at the southeast corner of the intersection of FM-1141 and FM-552..
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2020-045) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Northeast Residential District, and according to the Future Land Use Map the subject property is designated for Low Density Residential and Commercial/Retail district land uses. The proposed zoning request appears to generally conform to the Low Density Residential designation; however, the Commercial/Retail designation (i.e. roughly where the Neighborhood Services [NS] District is currently zoned) will require the City Council to amend the Future Land Use Map.
- I.5 According to the District Startegies for the Northeast Residential District -- as outlined in the Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan -- "(a)ny new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing Suburban Residential in the district." As of right now the smallest lots in the district are 80-feet in size. In this case, 60' x 123' lots and 70' x 123' lots are being proposed, which would be smaller than all other lots in the district. It may be beneficial for the proposed zoning plan to incorporate some larger 80-foot lots around the outside of the development to off-set the plans non-conformity to the District Strategies.
- I.6 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for single-family residential developments. The following aspects of the applicant's proposal either do not conform to the stated goals of the City's plan or there is not enough information to determine if the request conforms, and the plan could be revised -- per staff's recommendations -- to bring the project closer to conformance with the plan:

(1) CH. 08 | Sec. 02.03 | Goal 1; Policy 2: To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: The houses at the end of each block face could be turned to front onto the open space areas as opposed to side to them.

(2) CH. 08 | Sec. 02.03 | Goal 1; Policy 5: Design neighborhoods utilizing the Housing Tree Model (A method of laying of single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision).

Staff Response: Putting the larger lots adjacent to major roadways will reduce the number of lots backing to these roadways. An additional lot product of 80' x 120' lots could also be incorporated to further the Housing Tree Model.

(3) CH. 08 | Sec. 02.03 | Goal 3; Policy 4: Require a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (i.e. six [6] foot side yard building setback) and should be scaled to the height of the home.

Staff Response: Increase the side yard setbacks to six (6) feet.

(4) CH. 08 | Sec. 02.02 | Goal 3; Policy 4: All parks and open space should provide an integrated trail system that serves the adjacent neighborhood areas

Staff Response: Indicate a trail system on the proposed exhibit.

M.7 On the zoning exhibit please make the following changes:

- (1) Delineate the floodplain on the zoning exhibit.
- (2) Indicate the open space acreage that is located within the 100-year floodplain and that is located outside of the 100-year floodplain. This will help staff verify if the proposed development is in compliance with the required 20% open space. Please also note that floodplain can only be counted for ½-acre for every one (1) acre dedicated as open space [Subsection 02.02(E); Article 10].
- (3) Provide a separate exhibit showing conformance to the requirement that all lots less than 12,000 SF be within 800-feet of a neighborhood park or public/private open space [Subsection 02.02(E); Article 10].
- (4) Please provide a minimum of a 30-foot landscape buffer adjacent to all perimeter roadways. This landscape buffer is required to have a built-up berm, ground cover, and shrubbery along the entire length of the frontage. In addition, you will be required to plant three (3) canopy trees and four (4) accent trees per 100-linear feet [Subsection 02.02(D); Article 10].
- (5) Consider running a street parallel to FM-552 as a single loaded street to create separation between the homes and this major roadway. This is similar to Barlass Drive, which is located within the Stone Creek Subdivision.

I.8 Please review the following sections of the Development Standards contained in the Draft Ordinance as they differ from what was indicated on the submitted standards:

- (1) Lot Dimensional Requirements. Please note that the 70' x 120' lots minimum area/dwelling unit (SF) was changed from 2,000 SF to 2,200 SF to be in conformance with the Single-Family 10 (SF-10) District standards. Staff also made some changes to the General Notes on this chart to reflect the new Planned Development District ordinance format.
- (2) Masonry Standards. The masonry standards were increased to reflect the standard Planned Development District language.
- (3) Roof Pitch. The reference to 6:12 roof pitch was removed due to multiple lots backing to major roadways.
- (4) Garage Orientation. Staff changed the standards to be in closer conformance with recent Planned Development District ordinances.
- (5) Anti-Monotony. The anti-monotony standards were changed to be in conformance with the new General Residential District Standards contained in the Unified Development Code (UDC).
- (6) Fencing. The wood fence standards were taken directly from the new fencing standards for new subdivisions out of Article 08, Landscape and Screening, of the Unified Development Code (UDC). In addition, the transparent fencing requirements were added directly from the Planned Development District standards contained in the Unified Development Code (UDC).
- (7) Landscape Buffers. See the PD Standards contained in the Unified Development Code (UDC). A minimum of a 30-foot landscape buffer is required adjacent to all major roadways, and they require a berm, ground cover, and shrubs.

M.9 Please review the attached Draft Ordinance prior to the October 27, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 3, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional

information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 10, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

I.11 The projected City Council meeting dates for this case will be November 16, 2020 [1st Reading] and December 7, 2020 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved w/ Comments

10/22/2020: General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must include a 10' utility easement along all street frontage.

Drainage Items:

- I - Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study. Review fees apply.
- I - Must conduct a flood study to delineate all localized 100year fully developed floodplain for all creeks/streams and draws.
- I - Detention must be above the floodplain elevation where adjacent.
- I - Must have a wetlands/WOTUS determination for the existing pond on site.
- I - Must have a flood study to change the limits of Nelson Lake or the floodplain. Review fees apply.
- I - Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- I - Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

Water and Wastewater Items:

- I - Must have 8" sewer line minimum through the property and tie to the existing 15" sanitary sewer on the west side of FM 1141.
- I - Must have 10" sewer line along Nelson Creek per master plan.
- I - Infrastructure study has been requested to verify capacity at Stoney Hollow Lift Station to Squabble Creek. (review fees apply)
- I - Must pay the sewer pro-rata of no less than \$350/acre for Stoney Hollow upgrades. The infrastructure study will determine the cost.
- I - Must loop 8" water line on site. No dead-end lines allowed.
- I - Must install a 12" water line along the FM 552 and FM 1141 Frontage per the Master Water Plan.
- Must install 8" gravity sewer line through the subdivision to the existing 15" sewer on the west side of FM 1141.
- Must dedicate 20' permanent easement for future 10" sewer and 15' temporary easement for construction along Nelson Creek.

Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - Alleys to be 20' ROW, 12' wide paving.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Must verify there is 85' of dedicated ROW for FM 1141. You must dedicate 42.5' from the CL.
- I - Must verify TXDOT ROW for FM 552 with approved construction plans.
- I - TxDOT TIA required. Review fees apply.
- M - Must build half of North Country Lane (24' min.)
- M - Must verify 65' ROW width for North Country. Dedicate 32.5' from CL if not existing.
- M - Cul-de-sac ROW to be 57.5' radius min. Paving radius to be 47.5' min.
- M - Must label the driveway spacings on FM 552 and North Country.

Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

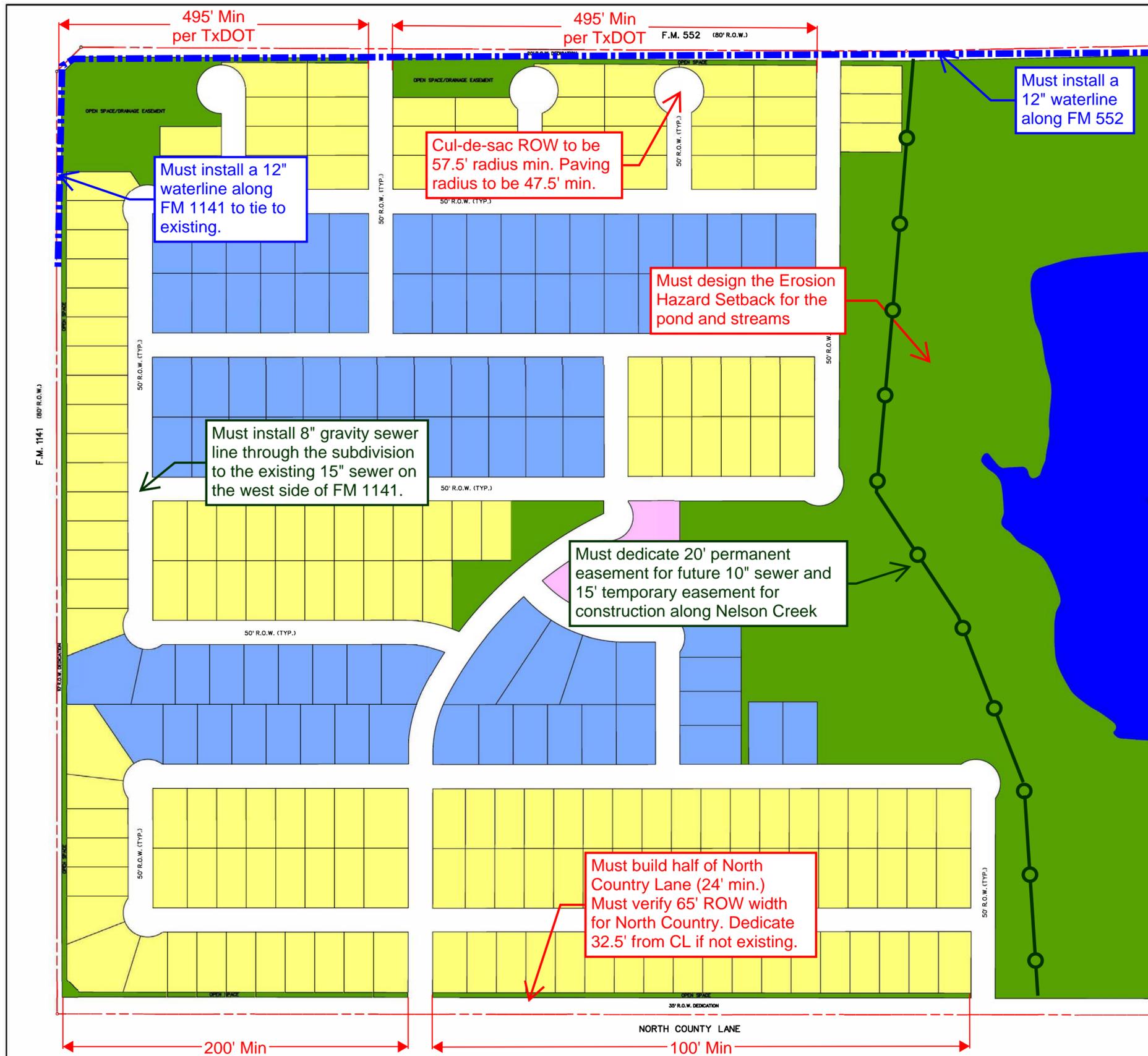
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/21/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

10/20/2020: No comments



495' Min per TxDOT

495' Min per TxDOT

F.M. 552 (80' R.O.W.)

Must install a 12" waterline along FM 1141 to tie to existing.

Cul-de-sac ROW to be 57.5' radius min. Paving radius to be 47.5' min.

Must install a 12" waterline along FM 552

Must design the Erosion Hazard Setback for the pond and streams

Must install 8" gravity sewer line through the subdivision to the existing 15" sewer on the west side of FM 1141.

Must dedicate 20' permanent easement for future 10" sewer and 15' temporary easement for construction along Nelson Creek

Must build half of North Country Lane (24' min.) Must verify 65' ROW width for North Country. Dedicate 32.5' from CL if not existing.

200' Min

NORTH COUNTY LANE

100' Min

General Items:

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- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
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Drainage Items:

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- I - Must conduct a flood study to delineate all localized 100year fully developed floodplain for all creeks/streams and draws.
- I - Detention must be above the floodplain elevation where adjacent.
- I - Must have a wetlands/WOTUS determination for the existing pond on site.
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- I - Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
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- I - Must pay the sewer pro-rata of no less than \$350/acre for Stony Hollow upgrades. The infrastructure study will determine the cost.
- I - Must loop 8" water line on site. No dead-end lines allowed.
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Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
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- I - Must verify there is 85' of dedicated ROW for FM 1141. You must dedicate 42.5' from the CL.
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- I - TxDOT TIA required. Review fees apply.

Landscaping:

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- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2020-045

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1447 FM 1141, Rockwall, TX 75087

Subdivision J. M. Glass Survey

Lot N/A

Block N/A

General Location Southeast corner of FM 552 and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning NS and SF-16

Current Use AG

Proposed Zoning PD - SF - 7

Proposed Use Residential subdivision

Acreage 121.16

Lots [Current] 109

Lots [Proposed] 264

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Unison Investment, a California LP

Applicant Michael Joyce Properties, LLC

Contact Person JEN-LIANG WU, General Partner

Contact Person Ryan Joyce

Address 23545 Crenshaw Blvd
Ste 201

Address 1189 Waters Edge Dr

City, State & Zip Torrance, CA 90505

City, State & Zip Rockwall, TX 75087

Phone 310-325-0300

Phone 512-965-6280

E-Mail Uniiinv@aol.com

E-Mail Ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jen-Liang Wu [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

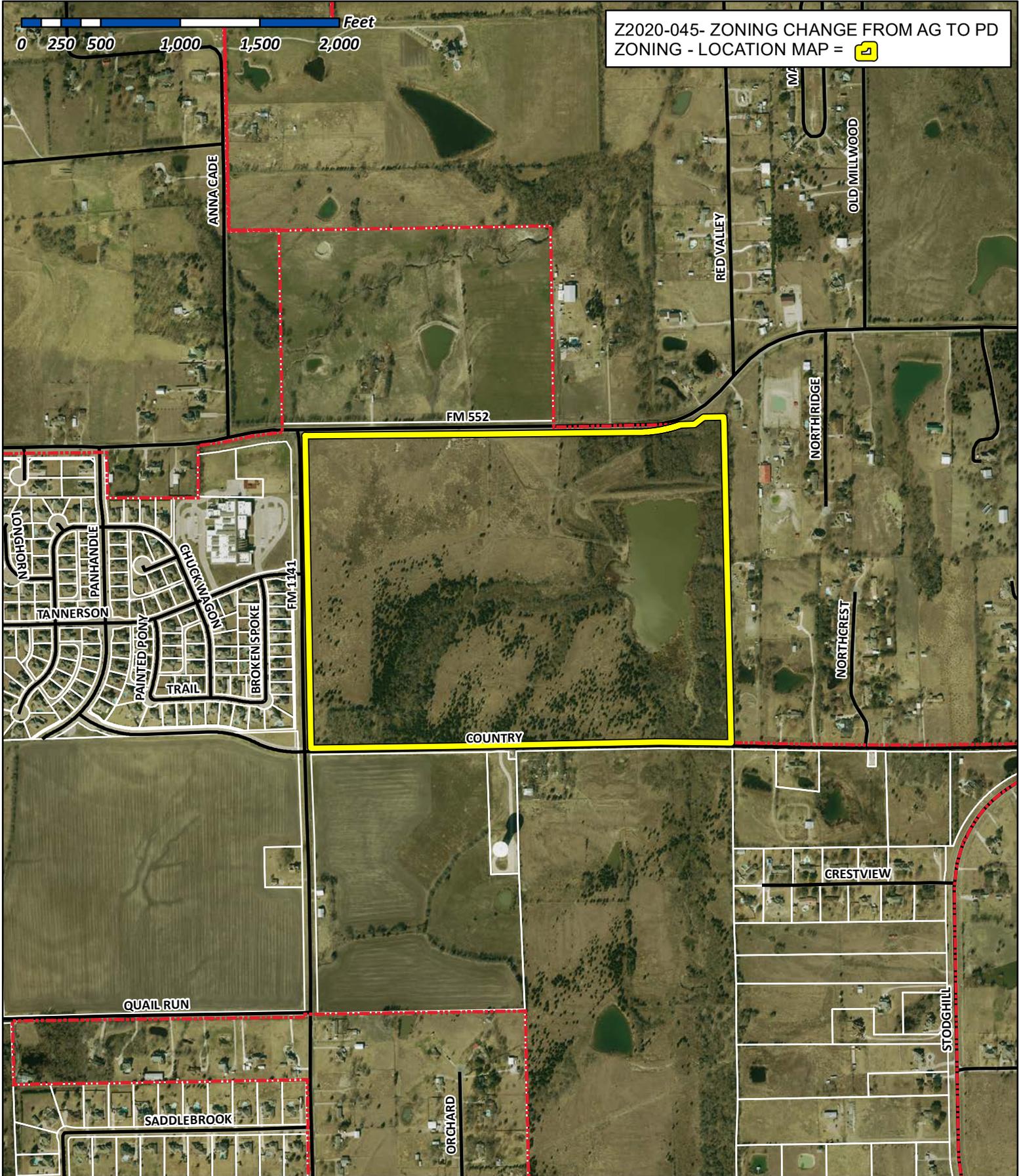
Given under my hand and seal of office on this the 14 day of October, 20 20.

Owner's Signature

Notary Public in and for the State of California



My Commission Expires sep. 23, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

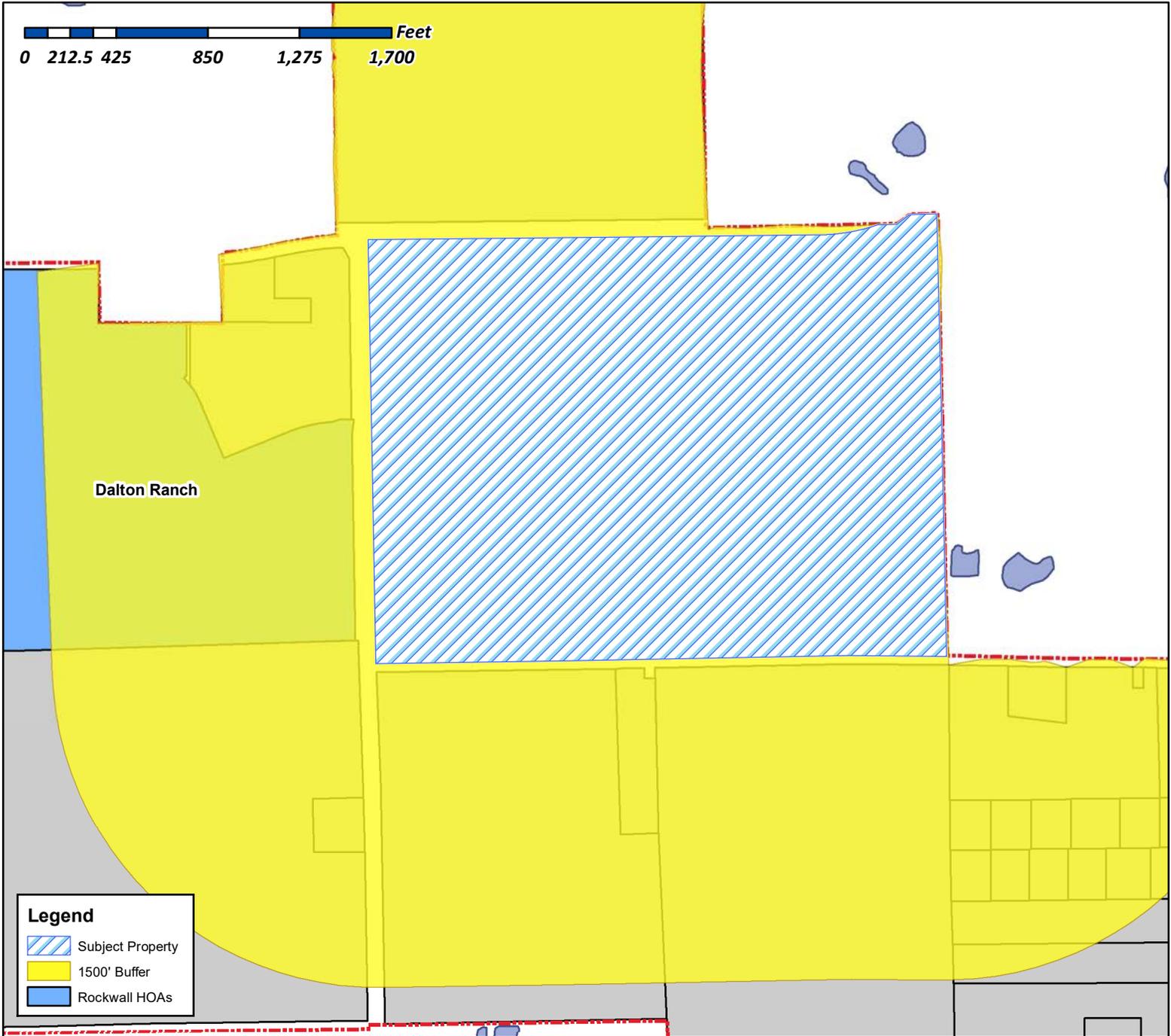




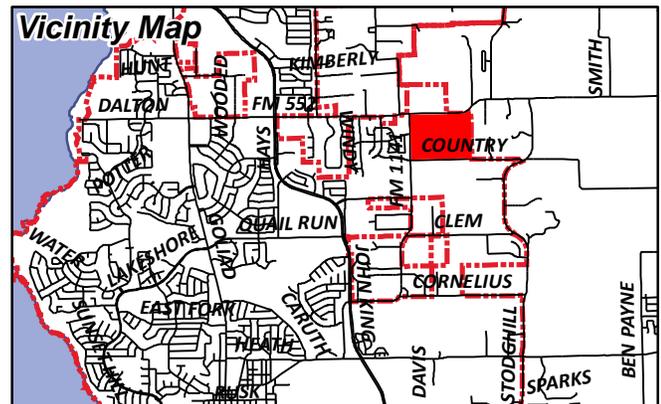
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-045
Case Name: Zoning Change AG to PD
Case Type: Zoning
Zoning: NS & SF-16
Case Address: SEC of FM 552 and FM 1141



Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-045.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-045 Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a *Zoning Change* from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

This email was scanned by Bitdefender

WEIR JAMES B & CRYSTAL
1831 TRAIL DR
ROCKWALL, TX 75087

OLIVER MICHAEL
1832 TRAIL DRIVE
ROCKWALL, TX 75087

MILLER ANGELA KAY & JOHN RAY
1833 TRAIL DRIVE
ROCKWALL, TX 75087

FOSTER BRIAN AND DEIDRE
1834 TRAIL DRIVE
ROCKWALL, TX 75087

ALLEN JAMES JR & BARBARA A
1835 TRAIL DRIVE
ROCKWALL, TX 75087

SANTOSO HARDJO AND
SENDYTIAWATI KURNIAWAN
1836 TRAIL DR
ROCKWALL, TX 75087

REAMSBOTTOM DELAYNE
1837 TRAIL DRIVE
ROCKWALL, TX 75087

STOVALL KEVIN
1847 TANNERSON DRIVE
ROCKWALL, TX 75087

ROCKWALL I S D
1880 TANNERSON
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

UNISON INVESTMENT
23545 CRENSHAW BLVD STE 201
TORRANCE, CA 90505

EIDT WILLIAM H AND
MARGARET E SHEEHAN/JOHN EIDT
2728 MCKINNON ST APT 1902
DALLAS, TX 75201

KIM BUNNA
2908 BROKEN SPOKE LN
ROCKWALL, TX 75087

LIPSEY RANDALL L AND KAREN M
2910 BROKEN SPOKE LN
ROCKWALL, TX 75087

RODRIQUEZ MONICA CANO & ISRAEL A JR
2912 BROKEN SPOKE LANE
ROCKWALL, TX 75087

FRANCIS SHELBY & KRISTI
2913 BROKEN SPOKE LANE
ROCKWALL, TX 75087

KOZLOWSKI BRIAN STEPHEN & JULIE
2914 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2914 CHUCK WAGON DR
ROCKWALL, TX 75087

MARTIN JEFFREY MICHAEL & ELIZABETH DIANE
2915 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CURRY JOANNA & SHAWN
2916 BROKEN SPOKE LN
ROCKWALL, TX 75087

LOGWOOD DANA CELESTE
2916 CHUCK WAGON DR
ROCKWALL, TX 75087

DE MASELLIS ADAM CLAUDE & STEPHANIE
DENISE
2917 BROKEN SPOKE LANE
ROCKWALL, TX 75087

2018 S M TAYLOR REVOCABLE TRUST
STEVEN EUGENE TAYLOR AND MICHELLE DIANE
TAYLOR- TRUSTEES
2918 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DORROUGH JEFFREY
2918 CHUCK WAGON DR
ROCKWALL, TX 75087

GAY VINCENT NEIL AND KERRI L
2919 BROKEN SPOKE LN
ROCKWALL, TX 75087

SANTIAGO ABE D AND ROCIO D SIMENTAL
2920 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BOYD JOEY D
2920 CHUCK WAGON DR
ROCKWALL, TX 75087

RANNIGAN MICHAEL R & RACHELLE LE ANN
2921 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DENNISON BOBBY & RAMONA
2922 BROKEN SPOKE LN
ROCKWALL, TX 75087

JONAS CHAD & JOANA
2924 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BUNCH LLOYD M & LINDA G
2925 BROKEN SPOKE LANE
ROCKWALL, TX 75087

QUINTERO JORGE & DELILAH
2926 BROKEN SPOKE LANE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
379 N COUNTRYLN
ROCKWALL, TX 75087

DALTON RANCH OWNERS ASSOC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-045: Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-045: Zoning Change from SF-16 & NS to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

October 16, 2020

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

Michael Joyce Properties, LLC is requesting that our project be taken to the November 10th, 2020 Planning and Zoning Meeting. This project is the development of 121.16 Acres in the J.M. Glass Survey, Tract 2 Abstract 88, City of Rockwall, Rockwall County, located at the Southeast corner of F.M. 552 and F.M. 1141.

The property is currently zoned NS and SF – 16. We are proposing a development of Single-Family Residential homes on 7,000 - 8,400 square foot lots. This community will provide for a greater variety of housing that the market demands and will still reflect the beautiful aesthetic of the surrounding communities like Stone Creek and Breezy Hill, and the City of Rockwall as a whole.

We look forward to working with the City once again to develop another gorgeous development.

Cordially Yours,

Ryan Joyce

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9. In the event the easement described herein is abandoned, the rights, privileges, and authority granted hereunder to the second party shall cease and determine.

IN WITNESS WHEREOF, the parties hereto have hereunto subscribed their names and affixed their seals as of the day and year first above written.

- 1 Charles J. Wilson
- 2 James R. Murphy
- 3 Thomas Nelson Murphy
- 4 M. Burns J. Watkins
- 5 Aslee Nelson Watkins
- 6 James R. Dudley
- 7 Iva Nell Dudley
- 8 Henry C. Carr
- 9 Mrs. Jennie Nelson Carr
- 10 William G. Nelson
- 11 Mary Dee Nelson

Mrs J M Nelson
W J Burt Rodgers
Jennie Nelson Rodgers
 (Signature of first party)

Kaufman Van Zandt Soil Conservation District
Soil Conservation District

BY Frank Springer
 Chairman, Board of Supervisors

THE STATE OF _____

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ and _____, ~~his wife,~~ both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said _____, wife of the said _____, having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said _____ acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Notary Public in and for _____

SEAL
 My Commission Expires: 6-1-57 County, _____

THE STATE OF Texas

COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Mrs. J.M. Nelson known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Frank Springer
 Notary Public in and for Rockwall
Rockwall County Texas

SEAL
 My Commission Expires: June 1, 1957

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Alton A. Nelson and Mary Dee Nelson, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Mary Dee Nelson wife of the said.

433

Alton A. Nelson having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Mary Doe Nelson acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 1 day of March, A. D. 1957.

BETTY ARRANT, Betty Arrant
Notary Public in and for Ector County, Oklahoma

SEAL:
My commission expires: June 14, 1957

THE STATE OF Texas

COUNTY OF Bosque

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Henry A. Carr and Mrs. Lennie Nelson Carr, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Lennie Nelson Carr, wife of the said

Henry A. Carr having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Lennie Nelson Carr acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 13 day of Feb., A. D. 1957.

J. D. Starcher
Notary Public in and for Bosque County, Tex.

SEAL:
My commission expires:

WIFE'S SEPARATE ACKNOWLEDGMENT

THE STATE OF TEXAS, }
COUNTY OF Rockwall }

BEFORE ME, the undersigned, a Notary Public,

in and for said County, Texas, on this day personally appeared Jennie Nelson Rodgers, wife of K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Jennie Nelson Rodgers acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, This 3 day of Jan., A. D. 1957

(L. S.) Frank Springer
Rockwall Co., Texas

THE STATE OF Texas

COUNTY OF _____

434

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Melbourn I. Watkins

and Aslee Nelson Watkins his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Aslee Nelson Watkins, wife of the said

Melbourn I Watkins having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Aslee Nelson Watkins acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 29 day of January,
M. Watkins
Aslee Nelson Watkins

A. D. 1957.

Gayle C. Wright
Notary Public in and for Dallas
County, _____

SEAL:

My commission expires: 6/1/57

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Murphree and

Omaree Nelson Murphree, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Omaree Nelson Murphree of the said

James R. Murphree wife having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Omaree Nelson Murphree acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 29 day of January,
James R. Murphree
Omaree Nelson Murphree
A. D. 1957.

Genevieve L. ...
Notary Public in and for Dallas
County, Texas

SEAL

My commission expires: 6-1-57

THE STATE OF Texas
COUNTY OF Rockwall

435

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Albert J. Wilson

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 14 day of Jan., A. D. 1957.

Gladys James
Notary Public in and for Rockwall
Rockwall, County, Texas

SEAL
THE STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Dudley and Joan Nell Dudley, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Joan N. Dudley wife of the said

James R. Dudley having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Joan N. Dudley acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

SIGNED: James R. Dudley
SIGNED: Joan Nell Dudley

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 28th day of June, A. D. 1955.

SEAL
My commission expires: 6-1-1957

J. T. Spilford
Notary Public in and for
Rockwall County, Texas

THE STATE OF Texas
COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 3 day of Jan., A. D. 1957

Frank Springer
Notary Public in and for
Rockwall County Texas

SEAL
My Commission Expires: 6-1-1957

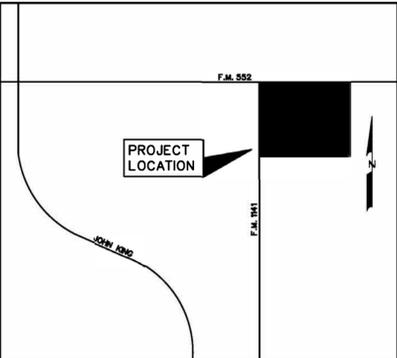
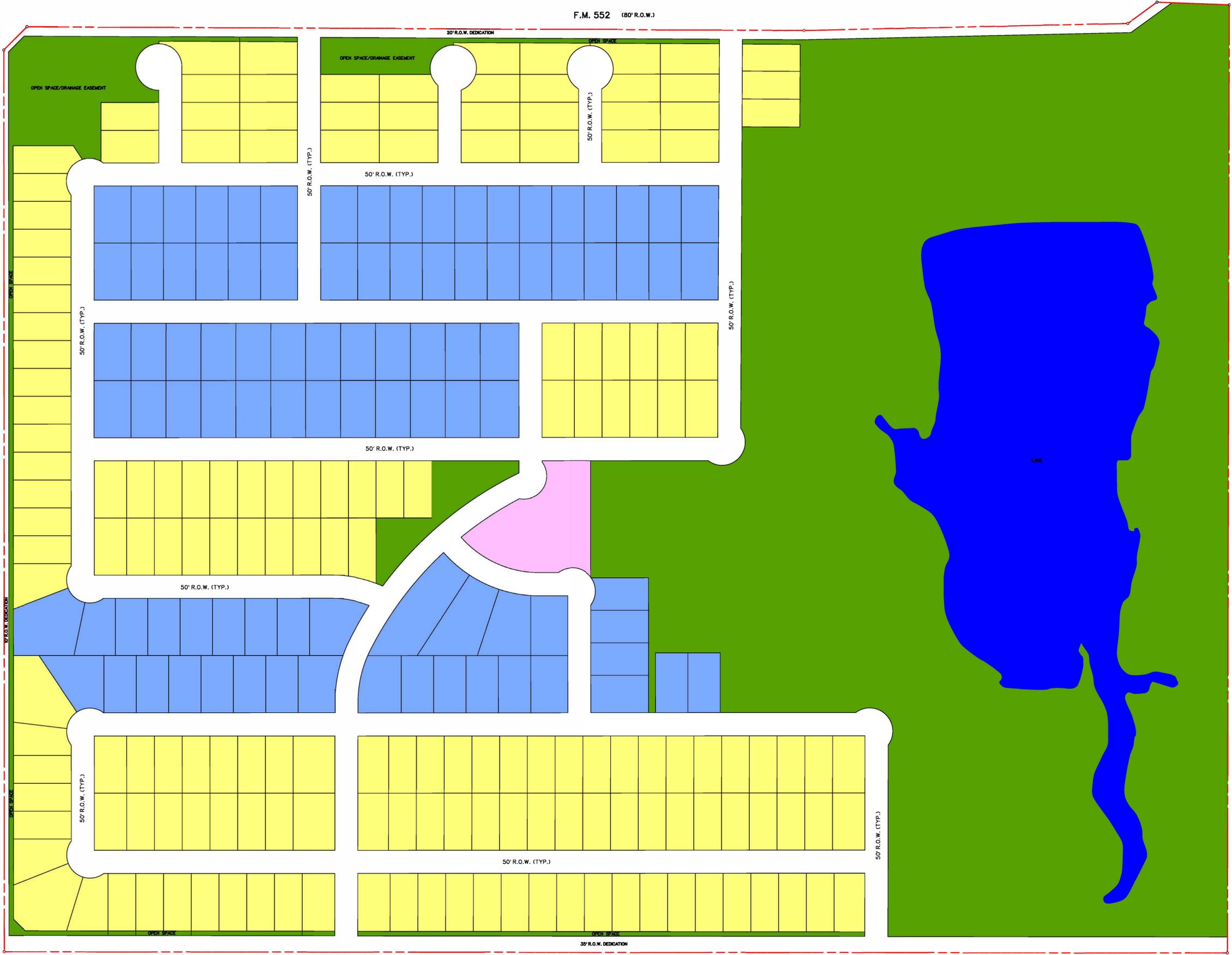
FILED FOR RECORD 16 DAY OF April A.D. 1958, AT 2-30 M.

RECORDED 17 DAY OF April A.D. 1958, AT 9-30 A.M.

Deborah Wimpee
DERWOOD WIMPEE, CLERK COUNTY COURT, ROCKWALL COUNTY, TEXAS.

F.M. 552 (80' R.O.W.)

F.M. 1141 (80' R.O.W.)



LOCATION MAP
N.T.S.



LEGEND	
TYPICAL LOT SIZES	
	- 60' X 123' - 171 LOTS
	- 70' X 123' - 93 LOTS
	- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER - 48.742 AC.
	- AMENITY CENTER - 1.006 Ac.

EXHIBIT B - CONCEPT PLAN
OF
NELSON LAKE ESTATES

SITUATED IN THE
J.M. GLASS SURVEY, ABSTRACT NO. 88

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

OWNER
UNISON INVESTMENT
23545 CRENSHAW BLVD., STE. 201
TORRANCE, CA 90505

TOTAL ACRES 121.158
TOTAL RESIDENTIAL LOTS 264
RESIDENTIAL DENSITY 2.178

NORTH COUNTY LANE

35' R.O.W. DEDICATION

50' R.O.W. (TYP.)

OPEN SPACE

OPEN SPACE/ DRAINAGE EASEMENT

OPEN SPACE/ DRAINAGE EASEMENT

OPEN SPACE

OPEN SPACE

OPEN SPACE

LAKE

Exhibit 'C':
PD Development Standards

A. GENERAL REQUIREMENTS

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)
A	70' x 120'	8,400 SF
B	60' x 120'	7,000 SF

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 7(SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 3 dwelling units per gross acre of land. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B
<i>Minimum Lot Width/Frontage</i> ⁽¹⁾	70'	60'
<i>Minimum Lot Depth</i>	120'	120'
<i>Minimum Lot Area</i>	8,400 SF	7,000 SF
<i>Minimum Front Yard Setback</i> ⁽³⁾	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	10'	10'
<i>Minimum Length of Driveway Pavement</i>	20'	20'
<i>Maximum Height</i>	36'	36'
<i>Minimum Rear Yard Setback</i>	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i> ⁽²⁾	2,000 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10%, but shall meet the minimum lot size for each lot type as referenced within *Table 1*.
- ²: A maximum of 20% of the lots may have homes not less than 1,500 SF.
- ³: The Director of Planning or his designee may grant a reduction in the required 20-foot front yard building setback of up to five (5) feet for lots situated along cul-de-sacs or curvilinear streets, or where a 20-foot front yard building setback would create an undue hardship on the property.

Exhibit 'C':
PD Development Standards

4. *Building Standards.* All development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80% overall. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, cast stone, cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff).
- (b) *Roof Pitch.* A minimum of overall 8:12 roof pitch is required on all structures with the exception of sunrooms, covered patios, dormers and porches, which shall have a minimum of a :12 roof pitch. Front and rear elevations may have 6:12 roof pitch.
- (c) *Garage Orientation.* Garages shall be oriented in a front entry configuration. If a front entry garage configuration is utilized that garage shall be located at least 20-feet behind the front building line.
 - a. *Off Street Parking Requirement.* An enclosed garage and a twenty (20) foot driveway shall be considered in meeting the off-street parking requirement.

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 120'	(1), (2), (3)
B	60' x 120'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

See the Illustrations on the following page.

Exhibit 'C':
PD Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.

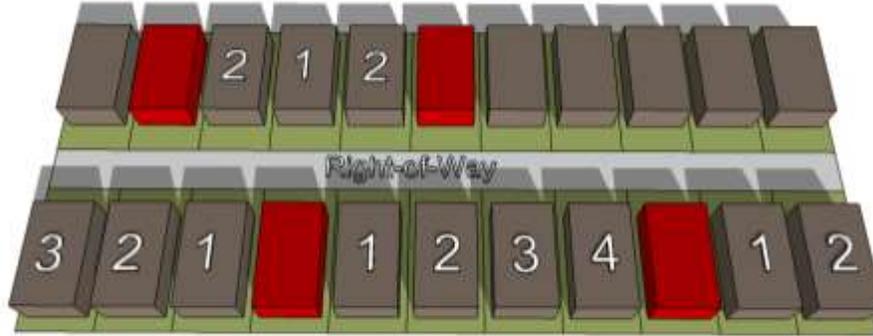
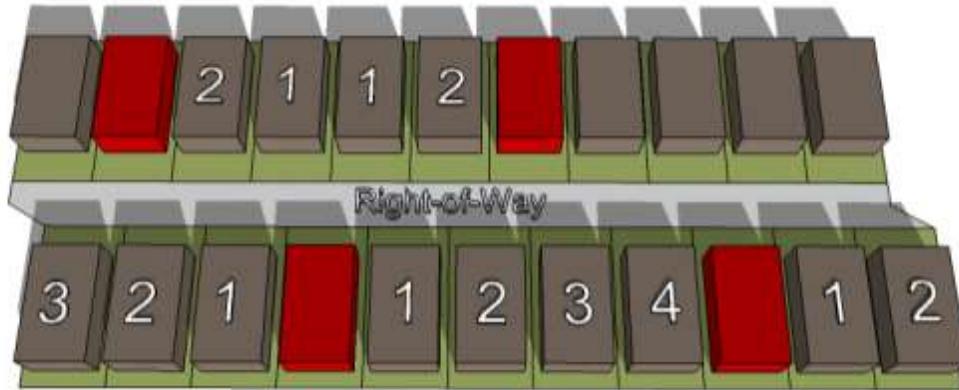


Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Generally, the Wood Fences shall be cedar, with a minimum height of 6 feet, with metal posts. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a minimum of six (6) feet in height.

Exhibit 'C':
PD Development Standards

7. *Landscape and Hardscape Standards.*

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development, unless specifically provided by this PD Ordinance, shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of three (3) feet in total height. The following tree species are approved for planting within this subdivision:
 - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Perimeter Fencing and Landscaping.* All Perimeter Fencing will be owned and maintained by the Homeowner's Association (HOA).
 - (a) *Perimeter Fencing.* A minimum six (6) foot Tubular Steel Fence with Masonry Columns will be installed in accordance with the PD site plan.
 - (b) *Perimeter Landscaping.* Perimeter Landscaping will be installed in accordance with the PD site plan.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (a) *Landscape Buffer (N. Country Ln).* A minimum of a 5-foot landscape buffer shall be provided along the frontage of N. Country Ln (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover.
 - (b) *Landscape Buffer (F.M. 1141).* A minimum of a 10-foot landscape buffer shall be provided along the frontage of F.M. 1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover.
 - (c) *Landscape Buffer (F.M. 552).* A minimum of a 10-foot landscape buffer shall be provided along the frontage of F.M. 552 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover.
- (4) *Streetscape Landscaping.* Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:
 - (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.

Exhibit 'C':
PD Development Standards

- (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

- (5) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
 - (6) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
 9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
 10. *Sidewalks.* At a minimum, all sidewalks located on lay down curb section streets shall begin four (4) feet behind the back of curb and be four (4) feet in overall width.
 11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
 12. *Open Space.* The development shall consist of approximately thirty-nine percent (39%) or 48.7 acres of open space.
 13. *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision and shall generally conform to the signage depicted in *Figures 1 & 2 (below)*. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
 14. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.

Exhibit 'C':
PD Development Standards

15. *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

FISCAL IMPACT ANALYSIS TOOL

ASSUMPTIONS: (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

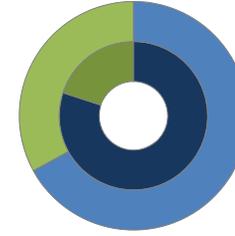
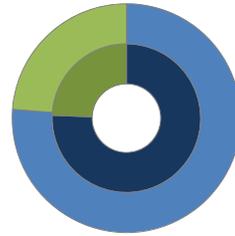
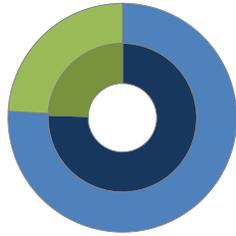
DISCLAIMER: The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

SUMMARY OF METHODOLOGY: The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

CASE NO.: Z2020-045

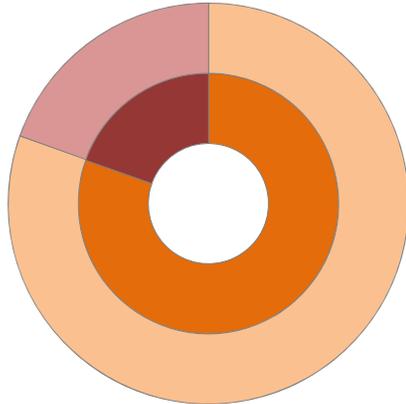
CASE NAME: Zoning Change (SF-16 & NS to PD) [Nelson Lake Estates]

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,934.11	75.49%	\$ 4,086,072,836.39	75.92%	10,949.47	75.59%	\$ 4,159,745,765.77	76.24%	15.36	0.11%	\$ 73,672,929.38	1.37%	80%	67%	-9.24%
NON-RESIDENTIAL	3,550.31	24.51%	\$ 1,296,229,067.61	24.08%	3,533.95	24.40%	\$ 1,296,111,589.15	23.76%	(16.36)	-0.11%	\$ (117,478.46)	0.00%	20%	33%	-9.24%
OPEN SPACE	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,483.42	99.99%	\$ 5,455,857,354.92	100.00%			\$ 73,555,450.92	1.37%	100%	100%	
TOTAL	2,487.57		\$ 380,531,381.26		2,488.57		\$ 389,033,454.47								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 5,844,890,809.39								

PRESENT		
	ACRES	%
RESIDENTIAL	19,697.30	80.41%
NON-RESIDENTIAL	4,799.77	19.59%
OPEN SPACE	24,497.07	100.00%
TOTAL	6,114.49	
TOTAL	30,611.56	
PROPOSED		
	ACRES	%
RESIDENTIAL	19,729.78	80.54%
NON-RESIDENTIAL	4,783.41	19.53%
OPEN SPACE	24,513.19	100.07%
OPEN SPACE	6,098.36	
TOTAL	30,611.56	
CHANGE		
	ACRES	%
RESIDENTIAL	32.48	0.13%
NON-RESIDENTIAL	(16.36)	-0.07%



FUTURE LAND USE MAP

ESTIMATED COST/REVENUES

BENCHMARKS

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Residential Value	\$ 402,557.62	\$ 39,692,435.04	\$ 73,672,929.38	\$ 33,980,494.35
Non-Residential Value	\$ 117,478.46	\$ 9,527,246.00	\$ -	\$ (9,527,246.00)
Residential Acreage	56.06	56.06	71.42	15.36
Non-Residential Acreage	16.36	16.36	-	(16.36)

ANNUAL REVENUES

	[A]	[B]	[C]	[B] - [C]
Residential Revenues	\$ 1,489.46	\$ 147,034.16	\$ 272,684.08	\$ 125,649.91
Non-Residential Revenues	\$ 434.67	\$ 56,519.64	\$ -	\$ (56,519.64)
Direct Sales Tax Increase	\$ -	\$ 229,556.40	\$ -	\$ (229,556.40)
Indirect Sales Tax Increase	\$ -	\$ 179,187.05	\$ 309,948.52	\$ 130,761.47
Total Revenues	\$ 1,924.13	\$ 612,297.26	\$ 582,632.60	\$ (29,664.66)

ANNUAL EXPENDITURES

	[A]	[B]	[C]	[B] - [C]
Cost of Community Service for Residential	\$ -	\$ (345,644.92)	\$ (715,566.98)	\$ (369,922.06)
Cost of Community Service for Non-Residential	\$ -	\$ (78,815.93)	\$ -	\$ 78,815.93
Total Estimated Expenditures	\$ -	\$ (424,460.84)	\$ (715,566.98)	\$ (291,106.14)

EST. ANN. COST/REVENUES

	[A]	[B]	[C]	[B] - [C]
EST. ANN. COST/REVENUES	\$ 1,924.13	\$ 187,836.42	\$ (132,934.38)	\$ (320,770.80)
OTHER BENCHMARKS				
Additional Citizens Added to Population		438	758	320
Estimated Non-Resident Consumers in City		147	-	(147)

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A NEIGHBORHOOD SERVICES (NS) DISTRICT AND A SINGLE-FAMILY 16 (SF-16) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 121.16-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. M. GASS SURVEY, ABSTRACT NO. 88, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Ryan Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a zoning change from a Neighborhood Services (NS) District and a Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this

ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A':
Legal Description

All that certain lot, tract or parcel of land situated in the *J.M. GLASS SURVEY, ABSTRACT NO. 88*, Rockwall County, Texas, and being all of that tract of land as described in a Warranty Deed from Charles I. Cheshire to Marvin Menaker, *Trustee*, dated April 23, 1980, and being recorded in *Volume 154, Page 625* of the *Deed Records* of Rockwell County, Texas, and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found for corner at the east cut back corner at the intersection of the east right-of-way line of FM-1141 (80' ROW) with the South right-of-way line of FM-552 (80' ROW);

THENCE along the south right-of-way line of said FM-552 the following:

S. 89 DEG. 44 MIN. 00 SEC. E. (*Controlling Bearing*) a distance of 1681.27-feet to a ½-inch iron rod found for corner;

N. 88 DEG. 45 MIN. 05 SEC. E. a distance of 700.30-feet to a tack found in wood monument for corner;

N. 54 DEG. 06 MIN. 00 SEC. E. a distance of 77.79-feet to a ½-inch iron rod found for corner;

THENCE S. 87 DEG. 51 MIN. 31 SEC. E. leaving the South line of said FM-552, a distance of 156.34-feet to a ½-inch iron rod set for corner at the base of a fence corner post for corner at the northeast corner of said *Menaker Tract*;

THENCE S. 00 DEG. 06 MIN. 49 SEC. E. along the east line of said *Menaker Tract* a distance of 2,041.03-feet to a 3/8-inch iron rod found for corner in the center of North Country Lane;

THENCE N. 89 DEG. 56 MIN. 19 SEC. W. along and near said center of North Country Lane a distance of 2,645.47-feet to a ½-inch iron rod found for corner at the southwest corner of said *Menaker Tract* at the intersection of the center of said road with the east right-of-way line of said FM-1141;

THENCE N. 00 DEG. 01 MIN. 46 SEC. W. with the east right-of-way line of said FM-1141 a distance of 1,941.18-feet to a ½-inch iron rod found for corner;

THENCE N. 45 DEG. 02 MIN. 47 SEC. E. along the east right-of-way line of said highway a distance of 70.50-feet to the *POINT OF BEGINNING* and containing 121.16-acres or 5,277,595 SF of land.

**Exhibit 'D':
Density and Development Standards**

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,000 SF	171	64.77%
B	70' x 120'	8,400 SF	93	35.23%
<i>Maximum Permitted Units:</i>			264	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.20 dwelling units per gross acre of land; however, in no case should the proposed development exceed 265 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B
Minimum Lot Width ⁽¹⁾	60'	70'
Minimum Lot Depth	120'	120'
Minimum Lot Area	7,000 SF	8,400 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	10'	10'
Minimum Length of Driveway Pavement	20'	20'
Maximum Height ⁽³⁾	36'	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,000 SF	2,200 SF
Maximum Lot Coverage	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: As measured from the rear yard property line.
- 5: Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*.
- 6: Flat front entry garage configurations are permitted on up to 20% of the total amount of lots provided the front yard building setback is increased to a minimum of 25-feet.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façades of all buildings shall be 90% on each facade, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *FM-552* and *FM-1141* as shown on *Exhibit 'C'* of this ordinance).
- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation*. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street that is behind the front façade of the primary structure. Garages configured in a flat front entry configuration shall be allowed on a maximum of 20% of the lots provided that the front yard building setback is increased to 25-feet. All garage doors shall be required to have upgraded finishes (e.g. *divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff*) [examples of acceptable garage configurations are depicted in *Figures 1 & 2*]. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

Figure 1. Examples of Upgraded Finishes



Divided Bays

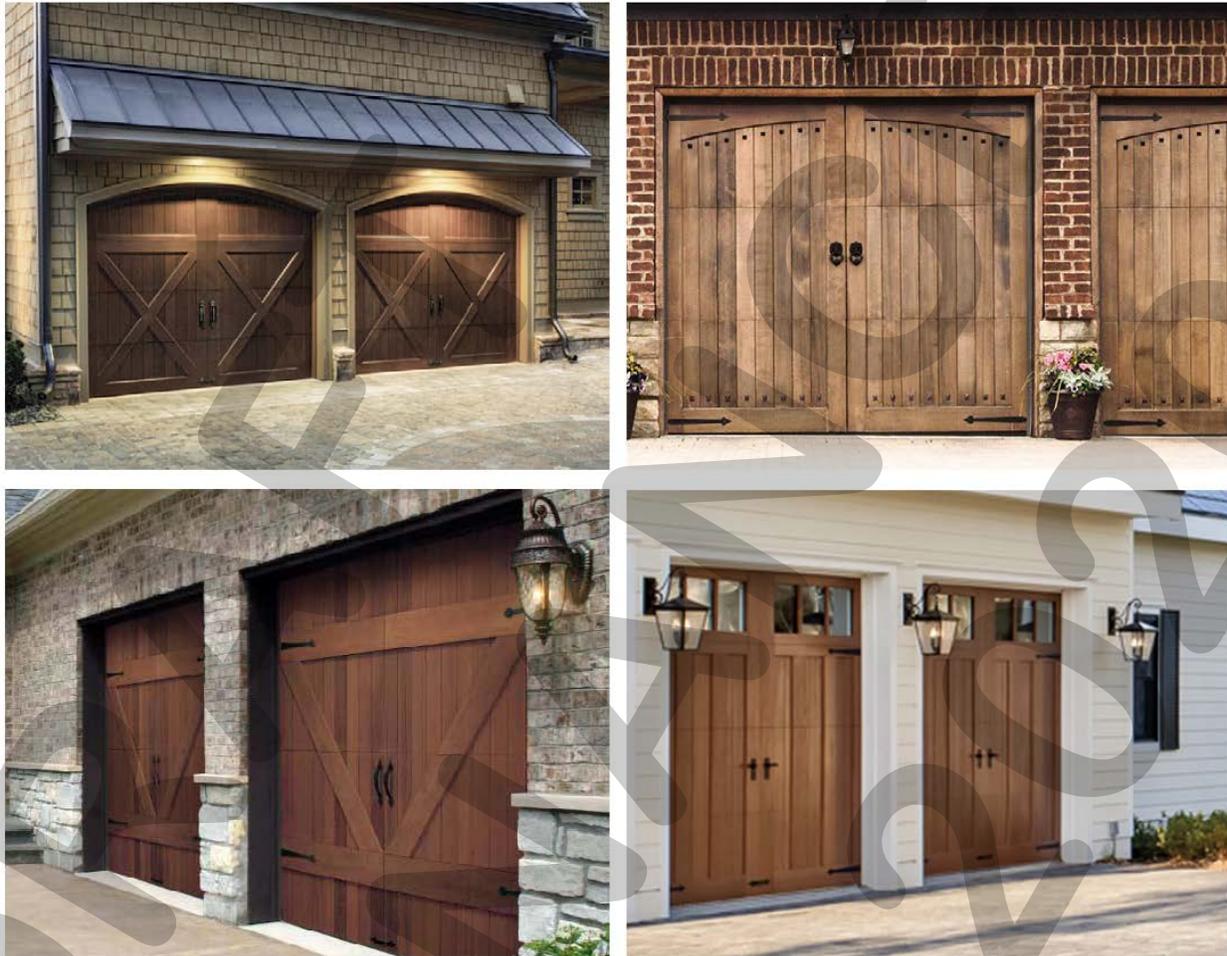
Carriage Hardware

Cedar Cladding

Continued on Next Page ...

**Exhibit 'D':
Density and Development Standards**

Figure 2. Examples of Acceptable Garage Enhancements



- (5) Anti-Monotony Restrictions. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	60' x 120'	(1), (2), (3)
B	70' x 130'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-552, FM-1141, or North Country Lane shall not repeat without at least five (5) intervening homes of differing

Exhibit 'D':
Density and Development Standards

appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

Exhibit 'D':
Density and Development Standards

- (a) Front Yard Fences. Front yard fences shall be prohibited.
- (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. SH-205, FM-549 and Wylie Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (FM-552). A minimum of a 30-foot landscape buffer shall be provided along FM-552 (*outside of and beyond any required right-of-way dedication*), that shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (3) Landscape Buffers (North Country Lane). A minimum of a 30-foot landscape buffer shall be provided along North Country Lane (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject*

Exhibit 'D':
Density and Development Standards

Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 24.232-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
- (13) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (14) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (15) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2020

PROJECT NUMBER: Z2020-046
PROJECT NAME: SUP for 295 Victory Lane
SITE ADDRESS/LOCATIONS: 295 VICTORY LN

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	10/22/2020	Approved w/ Comments

10/22/2020: Z2020-046; Specific Use Permit (SUP) for Residential Infill for 295 Victory Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing, Phase 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, and addressed as 295 Victory Lane.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-046) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within Phase 16 of the Chandler's Landing Subdivision, which was established on May 14, 1998, consists of 59 total residential lots, and currently only has five (5) vacant lots.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

I.6 According to Subsection 04.01(B) of Section 4, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street."

M.7 In this case, the proposed garage door is situated in front of the front façade of the proposed home facing the street, and does not meet the requirements of the Unified Development Code (UDC). This garage configuration will require approval by the City Council as part of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the October 27, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 3, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give

staff ample time to review the case prior to the November 10, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 27, 2020.

I.10 The projected City Council meeting dates for this case will be November 16, 2020 (1st Reading) and December 7, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved w/ Comments

10/22/2020: 1 - No structures or fences in easement.

1 - Retaining wall must be completely on property and will need to rock or stone. If the wall is 3' or taller the wall will need to be engineered by a professional engineer (signed and sealed plans).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved w/ Comments

10/21/2020: The home design shall comply with the 2015 IRC Section R302 Fire-Resistant Construction. The left elevation (as indicated on the plans) exterior wall shall have a one-hour minimum fire-resistance rating tested in accordance with ASTM E 119 or UL 263 with exposure from both sides. There shall be no projections beyond the exterior wall if less than 2 feet from the property line, including the roof eaves.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	10/22/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved

10/20/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 295 Victory Lane

Subdivision Chandler's Landing Lot 16 Block E

General Location Yacht Club Dr. & Victory Lane

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning		Current Use	<u>none</u>
Proposed Zoning	<u>SUP-SF1</u>	Proposed Use	<u>home/dwelling</u>
Acreage	<u>0.15</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>1</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Whittle & Johnson Custom Homes</u>	<input type="checkbox"/> Applicant <u>Mike Whittle</u>
Contact Person <u>Mike Whittle</u>	Contact Person <u>Mike Whittle</u>
Address <u>6525 Horizon Rd. Ste. 130</u>	Address <u>6525 Horizon Rd. Ste. 130</u>
City, State & Zip <u>Heath, TX 75032</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>972-816-5404</u>	Phone <u>972-816-5404</u>
E-Mail <u>mike@wjcustomhomes.com</u>	E-Mail <u>mike@wjcustomhomes.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Aaron Johnson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

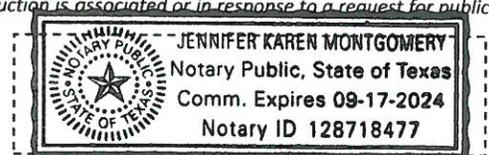
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 2020.

Owner's Signature

[Signature]
Jennifer Montgomery

Notary Public in and for the State of Texas



My Commission Expires 9-17-2024

0 12.5 25 50 75 100 Feet

Z2020-046- SUP FOR RESIDENTIAL INFILL AT 295 VICTORY LANE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-046.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-046 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

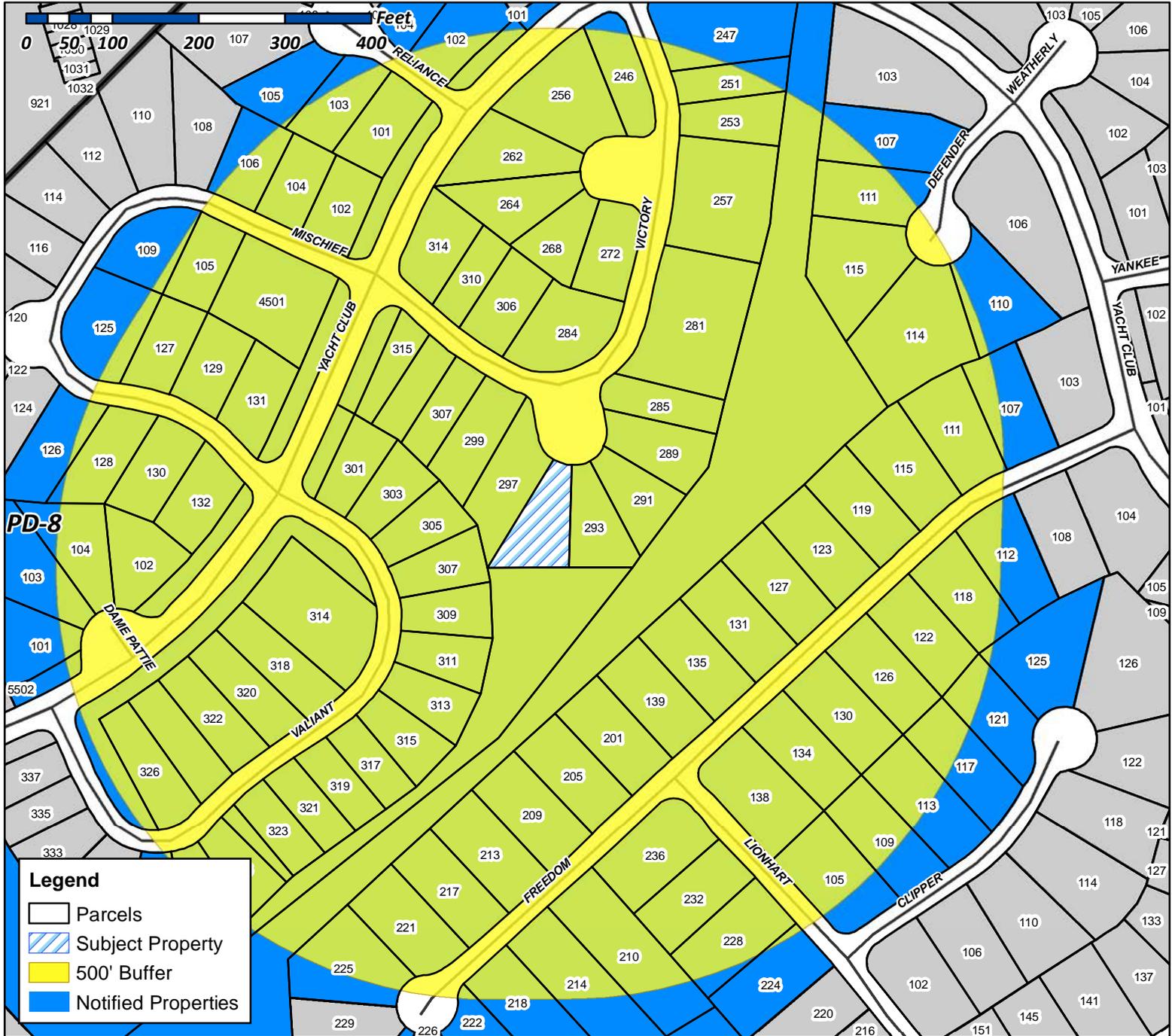
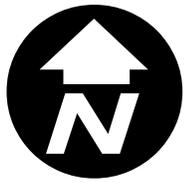
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City of Rockwall

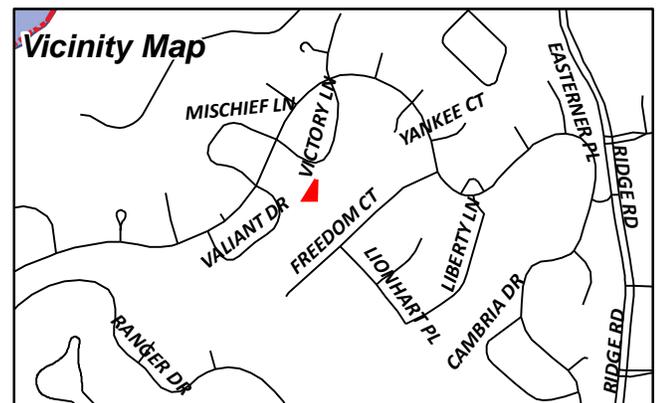
Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 295 Victory Lane

Date Created: 10/19/2020
 For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

MAFFEI DIEGO R & GERTRAUD A
101 DAME PATTIE DR
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL JASON & CORI
102 MISCHIEF LN
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

THOMAS VELIA
103 DAME PATTIE
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
103 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCE CT
ROCKWALL, TX 75032

SPOKES JULIE
105 CLIPPER COURT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

ROARK BOBBIE ETAL
107 DEFENDER CT
ROCKWALL, TX 75032

ALLEN REGINALD
107 FREEDOM CT
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E
109 CLIPPER CT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC
110 DEFENDERCT
ROCKWALL, TX 75032

STEBBINS GREGORY & KRISTEN
111 DEFENDER CT
ROCKWALL, TX 75032

HEBERT EARL T & LANA G
111 FREEDOM CT
ROCKWALL, TX 75032

RUSSELL DEBORA J AND
JOSEPH A JR & EDNA J JERMAN
112 FREEDOM COURT
ROCKWALL, TX 75032

SMITH THOMAS M
113 CLIPPER COURT
ROCKWALL, TX 75032

WEAVER C R & KAREN REV LIVING TR
114 DEFENDER CT
ROCKWALL, TX 75032

WEBSTER LIDIA
115 DEFENDER CT
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK
115 FREEDOM CT
ROCKWALL, TX 75032

PALMER TONY & JUDY
117 CLIPPER CT
ROCKWALL, TX 75032

JASTER FAMILY LIVING TRUST
EMIL EDWARD & MARGARET O JASTER
TRUSTEES
118 FREEDOM COURT
ROCKWALL, TX 75032

JONES FELICIA M
119 FREEDOM COURT
ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

PINSON REGINALD A & CAROL S
121 CLIPPER CT
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC
122 FREEDOMCT
ROCKWALL, TX 75032

THOMAS ALAN AND DANA
123 FREEDOM COURT
ROCKWALL, TX 75032

CASHMAN GINA L AND
JOEY L RIVER
125 CLIPPER CT
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEFLN
ROCKWALL, TX 75032

BOLES ALAN L & DANA M
126 FREEDOM CT
ROCKWALL, TX 75032

HUIE LONDON DARNELL AND KRISTIN NOEL
126 MISCHIEF LANE
ROCKWALL, TX 75032

SNIDER MICHAEL AND CASSANDRA
127 FREEDOM CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER
130 FREEDOM CT
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN
131 FREEDOM CT
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

ROSHAN KC
132 MISCHIEFLN
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P
134 FREEDOM CT
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA
138 FREEDOM CT
ROCKWALL, TX 75032

HENDRICKS LORI L
139 FREEDOMCT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD
HEATH, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MAXCEY THOMAS AND KIRSTEN
201 FREEDOM CT
ROCKWALL, TX 75032

FRITZ AND KATHY MCKINSTRY LIVING TRUST
205 FREEDOM CT
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

NORRISS KIMBERLY S
217 FREEDOM CT
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

NICHOLLS HARRY E JR
222 FREEDOM CT
ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E
224 LIONHART PLACE
ROCKWALL, TX 75032

DICKERSON PAUL L & LISA
225 FREEDOM CT
ROCKWALL, TX 75032

HOLLIS CODY JONATHAN
228 LIONHART PLACE
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
257 VICTORYLN
ROCKWALL, TX 75032

THOMAS VELIA
2612 GULL LAKE DRIVE
PLANO, TX 75025

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
264 VICTORYLN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN
268 VICTORY LN
ROCKWALL, TX 75032

MADSON RICHARD ARLEN
2710 ROUTH CREEK PKWY APT 3202
RICHARDSON, TX 75082

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

WILLIAMS ROBERT C
281 VICTORY LN
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE
291 VICTORY LANE
ROCKWALL, TX 75032

BILLITER KENT A
291 VICTORY LN
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORYLN
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

STOUFFER AMY JACKSON AND MITCH
301 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORYLN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

MADSON RICHARD ARLEN
307 VALIANT DR
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
309 VALIANT DR
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
309 VALIANT DR
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
310 VICTORYLN
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
311 VALIANTDR
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
317 VALIANT DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
32 LAKEWAY DRIVE
HEATH, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCIN
321 VALIANT DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

GUNDERSON BLAKE AND
CASEY MARIE VICKERS
325 VALIANT DR
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
326 VALIANTDR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
P.O. BOX 2195
TELLURIDE, CO 81435

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

WHITTLE & JOHNSON CUSTOM HOMES INC
PO BOX 369
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-046: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, **Chandler's Landing #16**, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-046: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

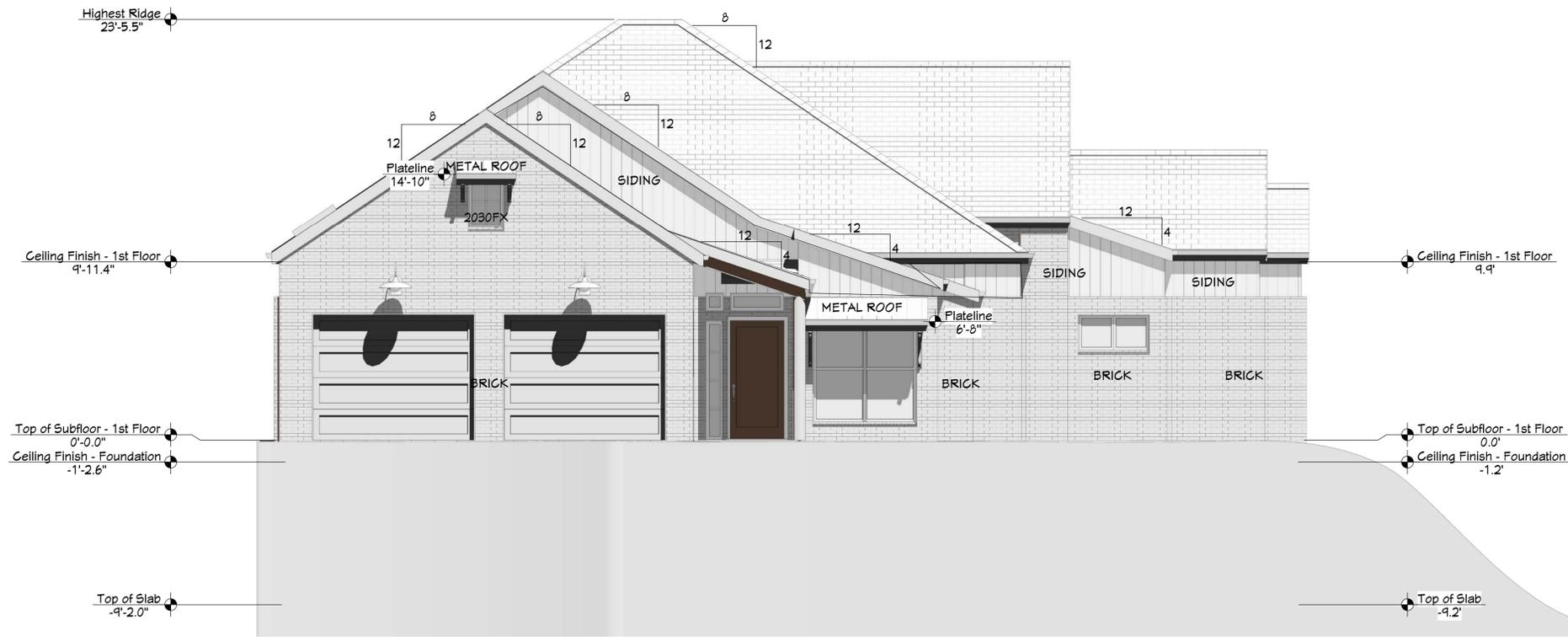
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

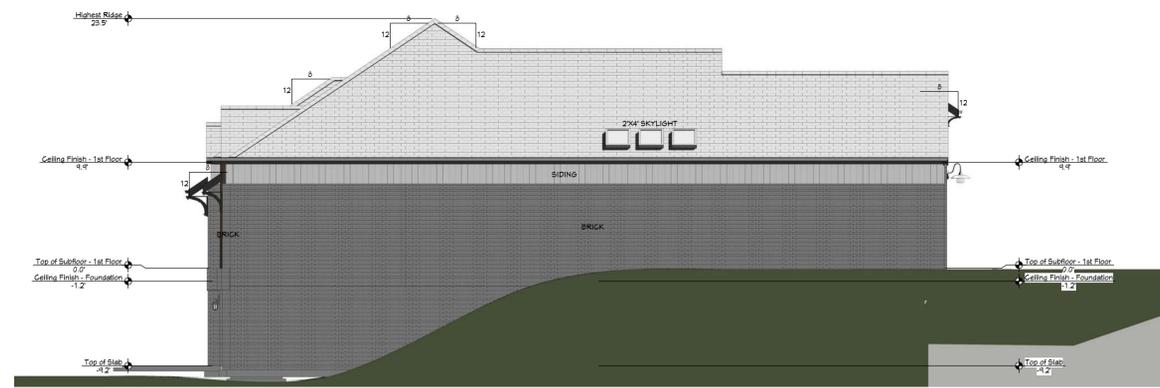
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION
1/4"=1'-0"



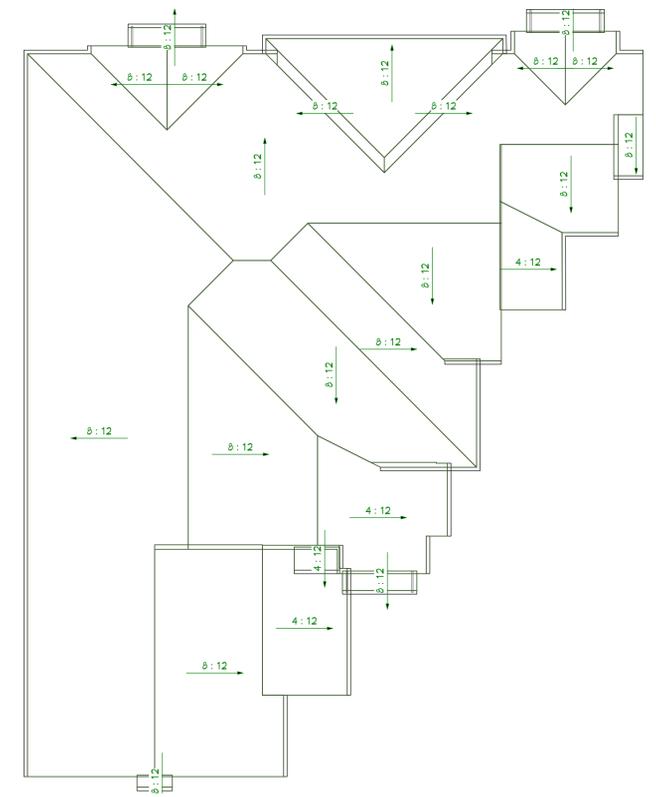
RIGHT ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



ROOF PLAN
1/4"=1'-0"
* ALL PITCHES TO BE 12:12 U.N.O.

ELEVATION NOTES:

COVERAGES:

FRONT: MASONRY- 81%, SIDING- 19%

REAR: MASONRY -87% SIDING -13%

LEFT: MASONRY- 86%, SIDING- 14%

RIGHT: MASONRY- 89% SIDING- 11%

BRICK-PHOENIX (BILCO WHITE)

ROOF-ONYX BLACK

SIDING-TITANIUM WHITE

GUTTERS-BLACK

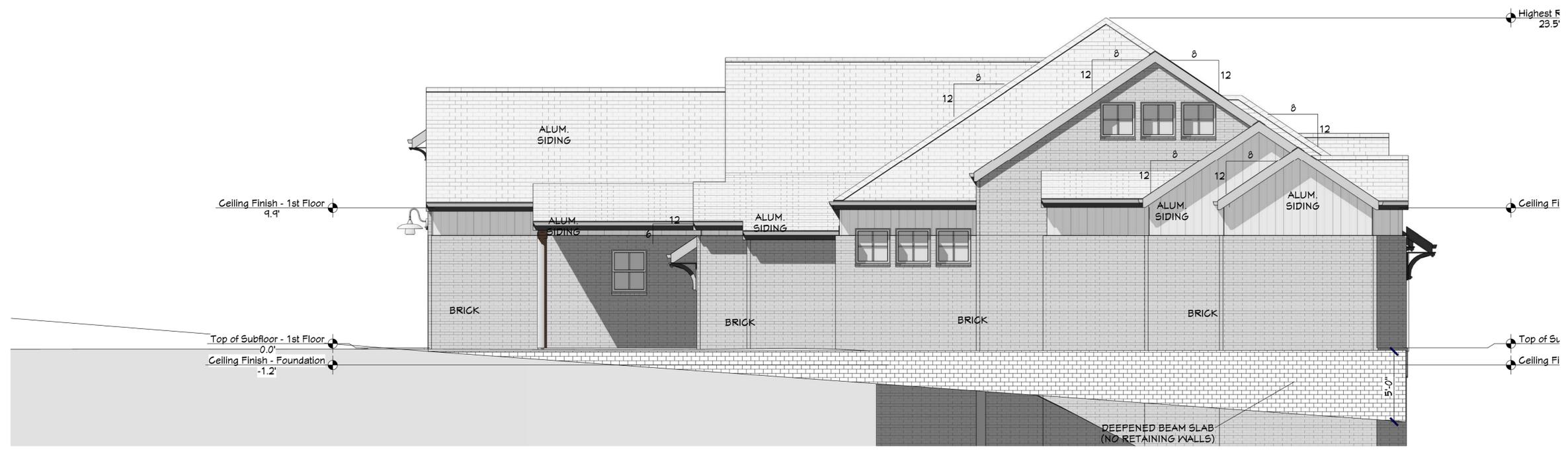
SOFFIT-PURE WHITE

EXT. PAINT-PURE WHITE

NO FENCING

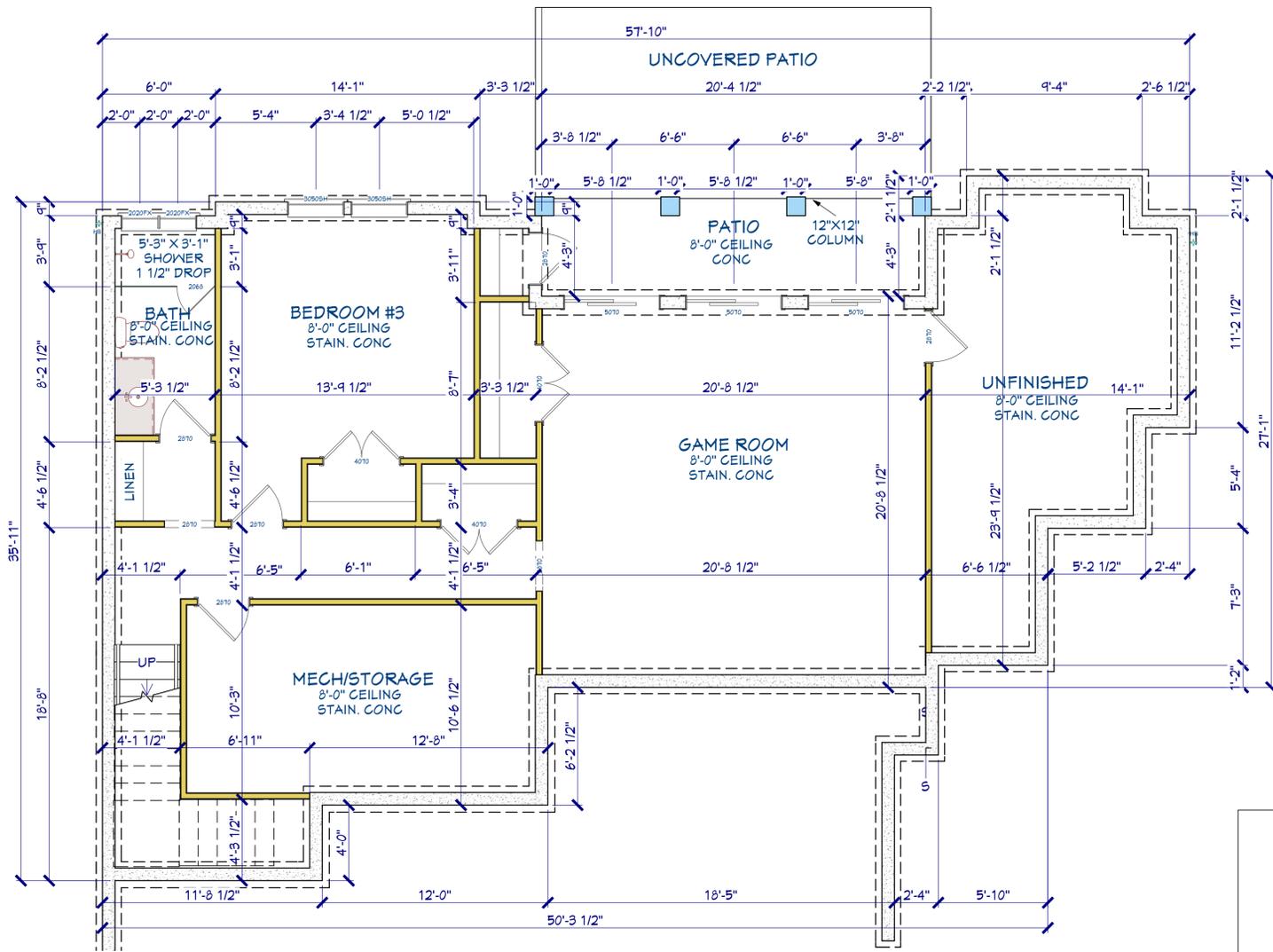
NO RETAINING WALLS

NO POOLS



RIGHT ELEVATION SECTION

1/4"=1'-0"



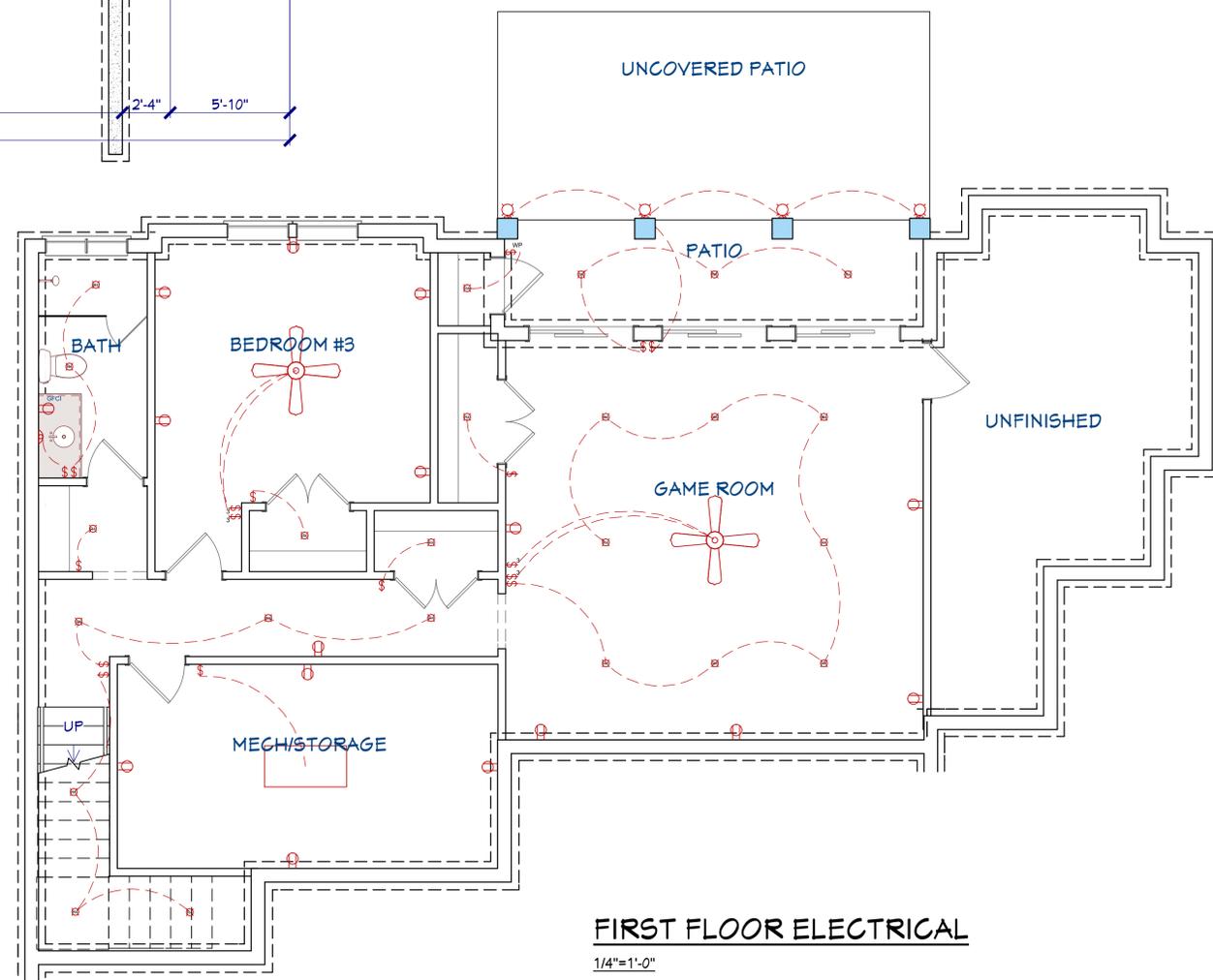
FIRST FLOOR

1/4"=1'-0"

SQUARE FOOTAGES	
1ST FLOOR	1498
2ND FLOOR	2010
TOTAL AIR CONDITIONED	3508
PORCH	90
PATIO	434
GARAGE	512
TOTAL UNDER ROOF	4544

DOOR SCHEDULE				
LABEL	QTY	FLOOR	SIZE	DESCRIPTION
2068	1	0	2068 L	SHOWER-GLASS SLAB
2068	1	1	2068 R	SHOWER-GLASS SLAB
2080	2	1	2080 L IN	HINGED-DOOR P03
2080	1	1	2080 L IN	HINGED-GLASS SLAB
2080	1	1	2080 R	2 DR. BIFOLD-LOUVERED
2080	2	1	2080 R IN	HINGED-DOOR P03
2680	1	1	2680 L/R IN	DOUBLE HINGED-DOOR P03
2868	1	1	2868 L	BARN-DOOR P03
2870	2	0	2870 L IN	HINGED-DOOR P03
2870	1	0	2870 R EX	EXT. HINGED-DOOR E02
2870	2	0	2870 R IN	HINGED-DOOR P03
2880	1	1	2880 L	POCKET-DOOR P03
2880	1	1	2880 L EX	EXT. HINGED-DOOR E02
2880	3	1	2880 L IN	HINGED-DOOR P03
2880	1	1	2880 R	POCKET-DOOR P03
2880	2	1	2880 R IN	HINGED-DOOR P03
3068	1	1	3068 R EX	EXT. HINGED-DOOR P01
3080	1	1	3080 R EX	EXT. HINGED-DOOR E02
4070	3	0	4070 L/R IN	DOUBLE HINGED-DOOR P03
5070	1	0	5070 L EX	EXT. SLIDER-GLASS PANEL
5070	2	0	5070 R EX	EXT. SLIDER-GLASS PANEL
9070	2	1	9070	GARAGE-PANEL

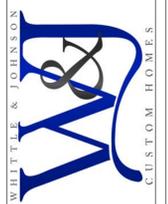
WINDOW SCHEDULE					
LABEL	QTY	FLOOR	SIZE	DESCRIPTION	TOP
1010FX	1	1	1010FX	FIXED GLASS	98 1/2"
1068FX	1	1	1068FX	FIXED GLASS	80"
2020FX	2	0	2020FX	FIXED GLASS	84"
2020FX	2	1	2020FX	FIXED GLASS	80"
2020FX	3	1	2020FX	FIXED GLASS	87"
2030FX	1	2	2030FX	FIXED GLASS	58"
2626SC	3	1	2626SC	SINGLE CASEMENT-HR	102"
2626SC	3	2	2626SC	SINGLE CASEMENT-HR	90"
2630SH	1	1	2630SH	SINGLE HUNG	84"
2660SH	1	1	2660SH	SINGLE HUNG	96"
2660SH	1	1	2660SH	SINGLE HUNG	80"
3010FX	6	1	3010FX	FIXED GLASS	111"
3010FX	1	1	3010FX	FIXED GLASS	98 1/2"
3050SH	2	0	3050SH	SINGLE HUNG	84"
3060DH	2	1	3060DH	DOUBLE HUNG	80"
3060SH	2	1	3060SH	SINGLE HUNG	84"
3060SH	4	1	3060SH	SINGLE HUNG	96"
4020DC	1	1	4020DC	DOUBLE CASEMENT-LHL/RHR	84"



FIRST FLOOR ELECTRICAL

1/4"=1'-0"

Electrical Schedule			
2D Symbol	Qty	Floor	Description
	2	0	Basic Ceiling Fan
	4	0	Caged Lantern Sconce
	15	0	Duplex
	1	0	GFCI
	1	0	Medium Double Surface Mounted Tube Light [48Wx21D] [48Wx21D]
	1	0	Nicosia
	24	0	Recessed Down Light 4
	12	0	Single Pole
	4	0	Three Way
	1	0	Weatherproof
	3	1	Arts & Crafts Pendant
	5	1	Basic Ceiling Fan
	1	1	Clothes Dryer
	2	1	Drizzle Round Chandelier
	46	1	Duplex
	4	1	Duplex (weatherproof)
	3	1	Four Way
	3	1	GFCI
	1	1	Garbage Disposal
	2	1	Medium Double Surface Mounted Tube Light [48Wx21D] [48Wx21D]
	2	1	Medium Surface Mounted Tube Light [48Wx9D] [48Wx9D]
	2	1	Narciss Sconce
	4	1	Nicosia
	50	1	Recessed Down Light 4
	28	1	Single Pole
	1	1	Single Pole Dimmer
	10	1	Three Way



LOT: 16, BLOCK: E
 SUBDIVISION: CHANDLERS LANDING, PH. 16
 ADDRESS: 2415 VICTORY LANE
 CITY: STATE: ROCKWALL, TX
 COUNTY: ROCKWALL

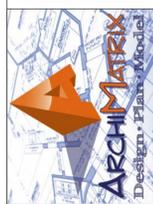
RESIDENCE FOR:
WARDLOW

WHITTLE & JOHNSON
 CUSTOM HOMES

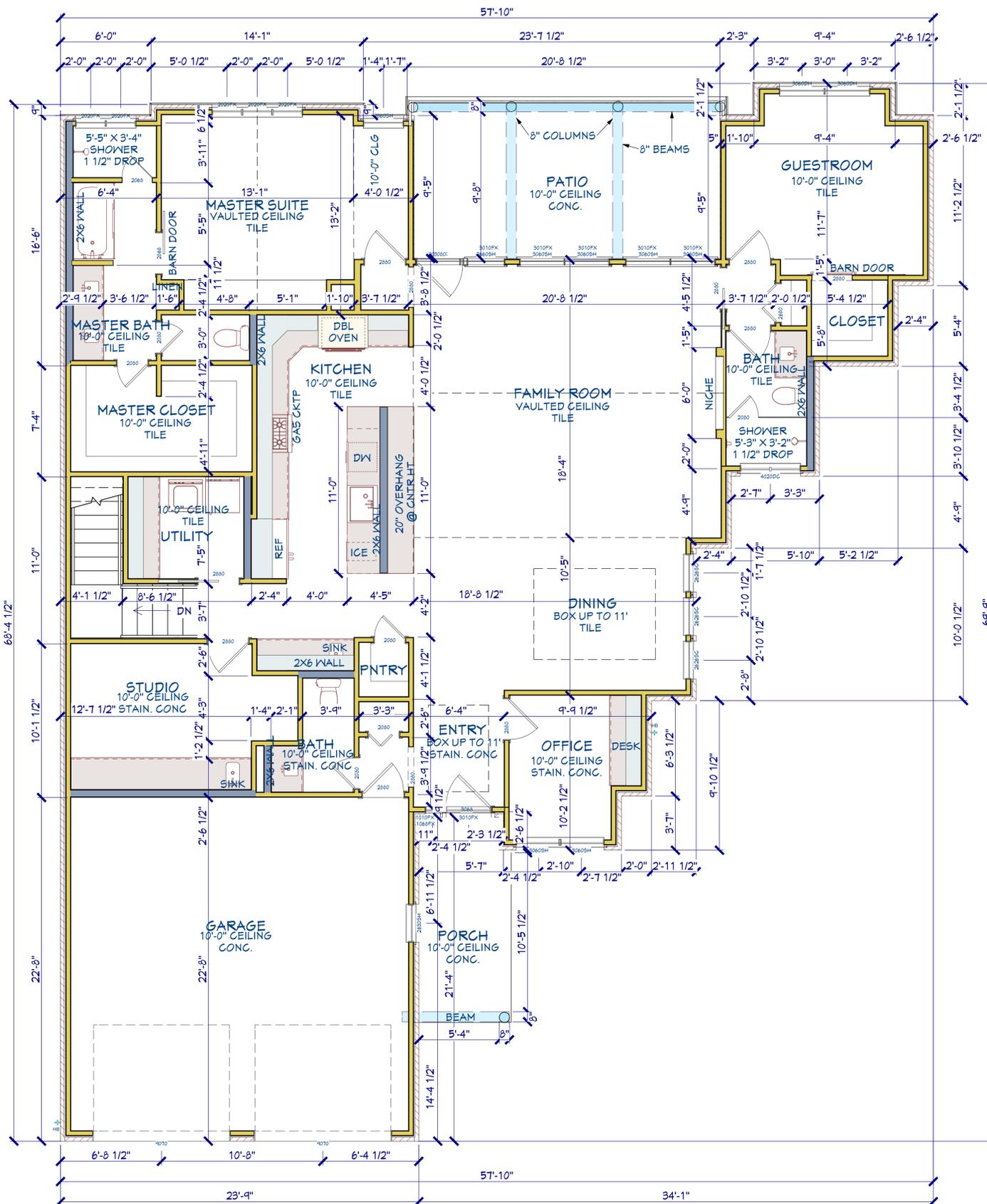
DATE:
 5/3/20

SCALE:

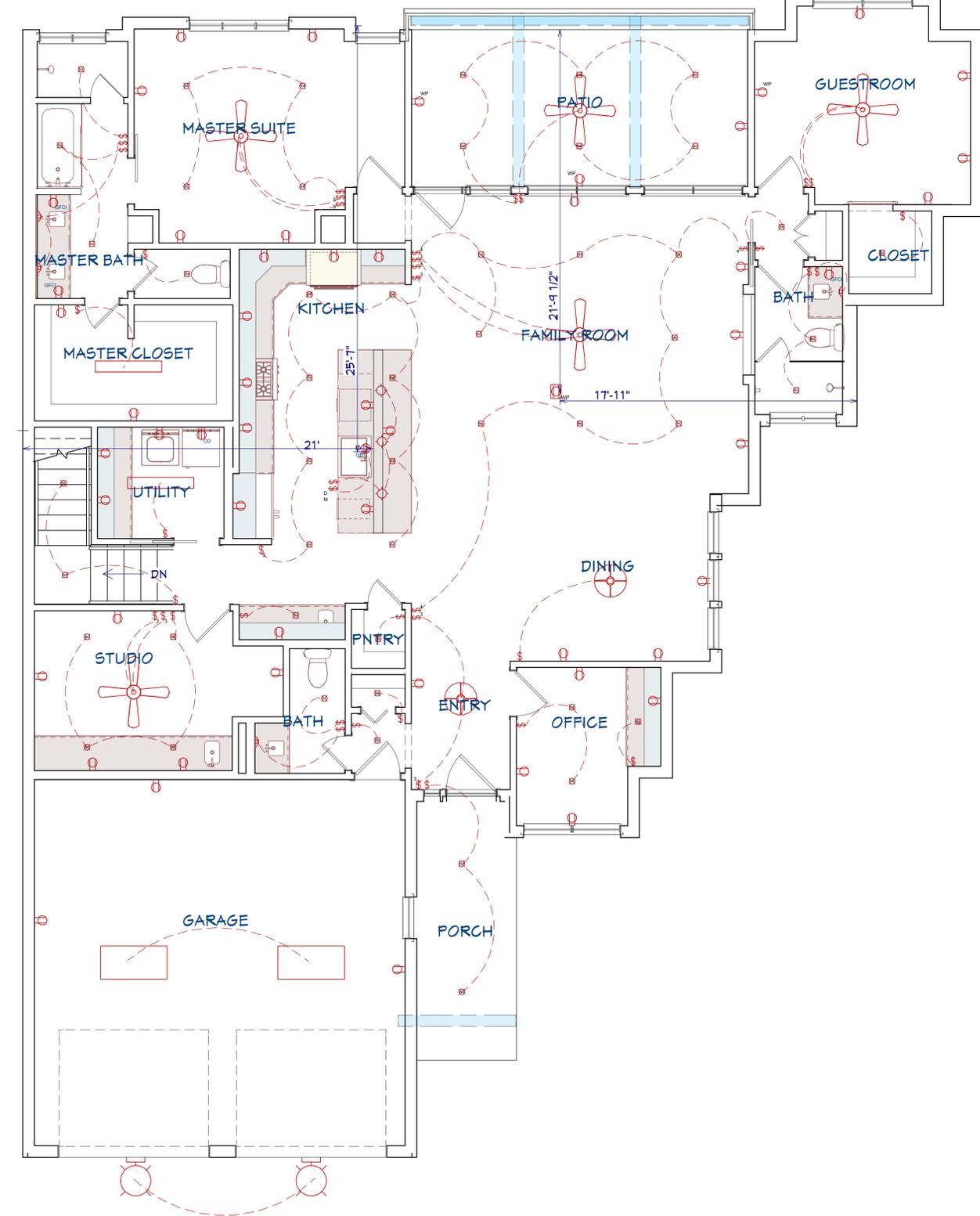
SHEET:
 2P-1



214-837-0241
 ARCHIMATRIX.ORG



SECOND FLOOR
1/4"=1'-0"



SECOND FLOOR ELECTRICAL
1/4"=1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.15-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK E, CHANDLER'S LANDING, PHASE 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.15-acre parcel of land being described as Lot 24, Block E, Chandler's Landing, Phase 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

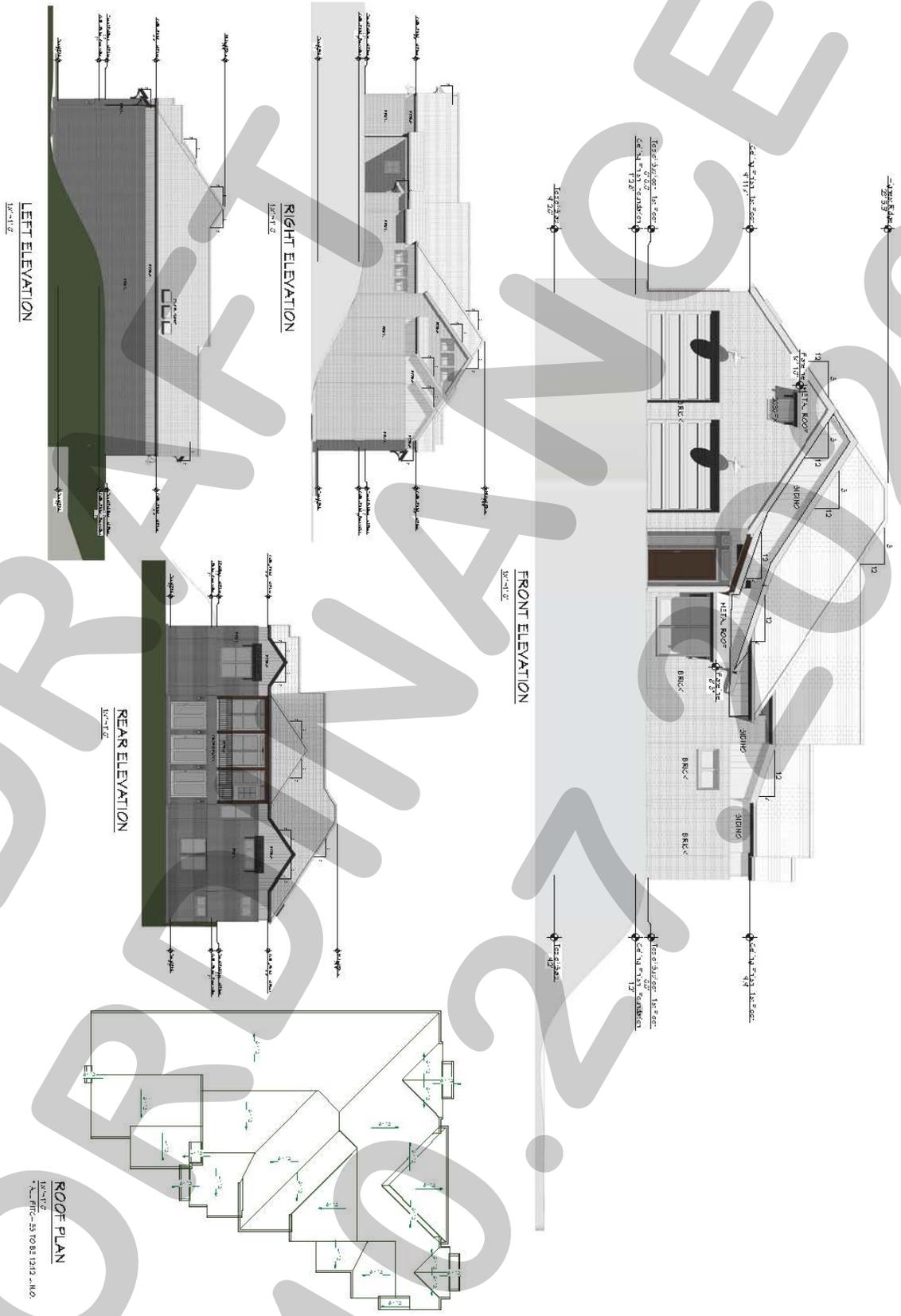
Exhibit 'A'
Location Map and Survey

Address: 295 Victory Lane

Legal Description: Lot 24, Block E, Chandler's Landing, Phase 16



**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: Z2020-047
PROJECT NAME: Zoning Change from AG to SF-1
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	10/21/2020	Needs Review

10/21/2020: Z2020-047; Zoning Change from AG to PD for Walker Estates Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (Z2020-047) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This proposed project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development District Ordinance, and the underlying zoning for Single-Family 1 (SF-1) District land use standards, and the Standards of Article 05 that are applicable to the subject property.

I.5 The Planned Development District shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff.

M.7 Make the following changes to the Concept Plan:

a) Provide a Legend that includes:

1. Lot Table (i.e. lot types, number of lots for that type, and total number of lots)
2. Density = 0.78 du/ac
3. % Open Space & Acres (i.e. 4.38% or 1.14-Acres)

b) Provide a color code to differentiate Type A Lots from the Type B (include in Legend and lot plan).

M.8 Provide a label for all open space areas (i.e. C.A. 1 & C.A. 2) indicating "Open Space to be Maintained by HOA".

M.9 Move the common area labels (i.e. C.A. 1 & C.A. 2) inside the open space area or use a bold label type in order to better see the labels.

M.10 Delineate and label the minimum 5-ft meandering sidewalk within the landscape buffers along FM 1141 & Clem Road and label as Pedestrian Easement.

M.11 Indicate the proposed landscaping within the landscape buffers along FM 1141 & Clem Road (i.e. three (3) canopy trees and four (4) accent trees per 100-feet of linear frontage).

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff by November 3, 2020 for a subsequent review, and provide any additional information that is requested.

I.13 Please note the scheduled meetings for this case, which includes two (2) public hearings:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) Planning & Zoning Public Hearing will be held on October 27, 2020.
- 3) City Council Public Hearing will be held on November 2, 2020. [1st Reading of Ordinance]
- 4) City Council regular meeting will be held on November 2, 2020. [2nd Reading of Ordinance (if approved at 1st Reading)]

I.14 The scheduled meetings will be conducted in person, and staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Approved w/ Comments

- 10/22/2020: M - Clem road is planned to have 60' ROW and 41' B-B paving. Must dedicate and build half of the road.
M - Must delineate the 100-yr fully developed floodplain. Detention must be above the 100-year Water Surface Elevation.
M - Need min . 20' San Sew. along creek per master plan for future trunk sewer.
M - Must show existing and proposed utilities on site.

The following items are for your information for the engineering review process.

General Items:

- M - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must include a 10' utility easement along all street frontage.

Drainage Items:

- I - Detention is required. Manning's C-value is by zoning.
- I - Detention for 20 or more acres must be calculated using the unit hydrograph method and perform a detention/flood study. Review fees apply. (Must meet design requirements for Squabble Creek Basin)
- I - No lot-to-lot drainage is allowed.
- I - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- I - No vertical walls are allowed in detention easements.
- I - Must delineate the 100-yr fully developed localized floodplain for all creek, stream and low ares. Detention must be above the 100-year Water Surface Elevation.

I - Must established drainage easements per erosion hazard setback and floodplain requirements.

I - Floodplain and erosion hazard setback to be in its own separate lot to be owned and maintained by the HOA. lot/property line will vary based on this.

Water and Wastewater Items:

I - Must loop the water line on site. Only one use allowed off a dead end line.

I - Pursue opting out of the Mt. Zion water district. -

I - Must get approval from the City Council for all of the lots to be on septic.

I - Must include a 20' sanitary sewer easement along the south property line for the future sewer line per the master plan.

Roadway Paving Items:

I - Required 10' utility easement required along all street frontage.

I - All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.

I - Alleys to be 20' ROW, 12' wide paving.

I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.

I - Must meet driveway spacing requirements.

I - TxDOT permit required for driveway on FM 1141.

I - Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing.

I - The cul-de-sac by FM 1141 will need a 24' wide paved fire lane rated roadway that can be "bollard" with removable bollards or other approved roadway barricades

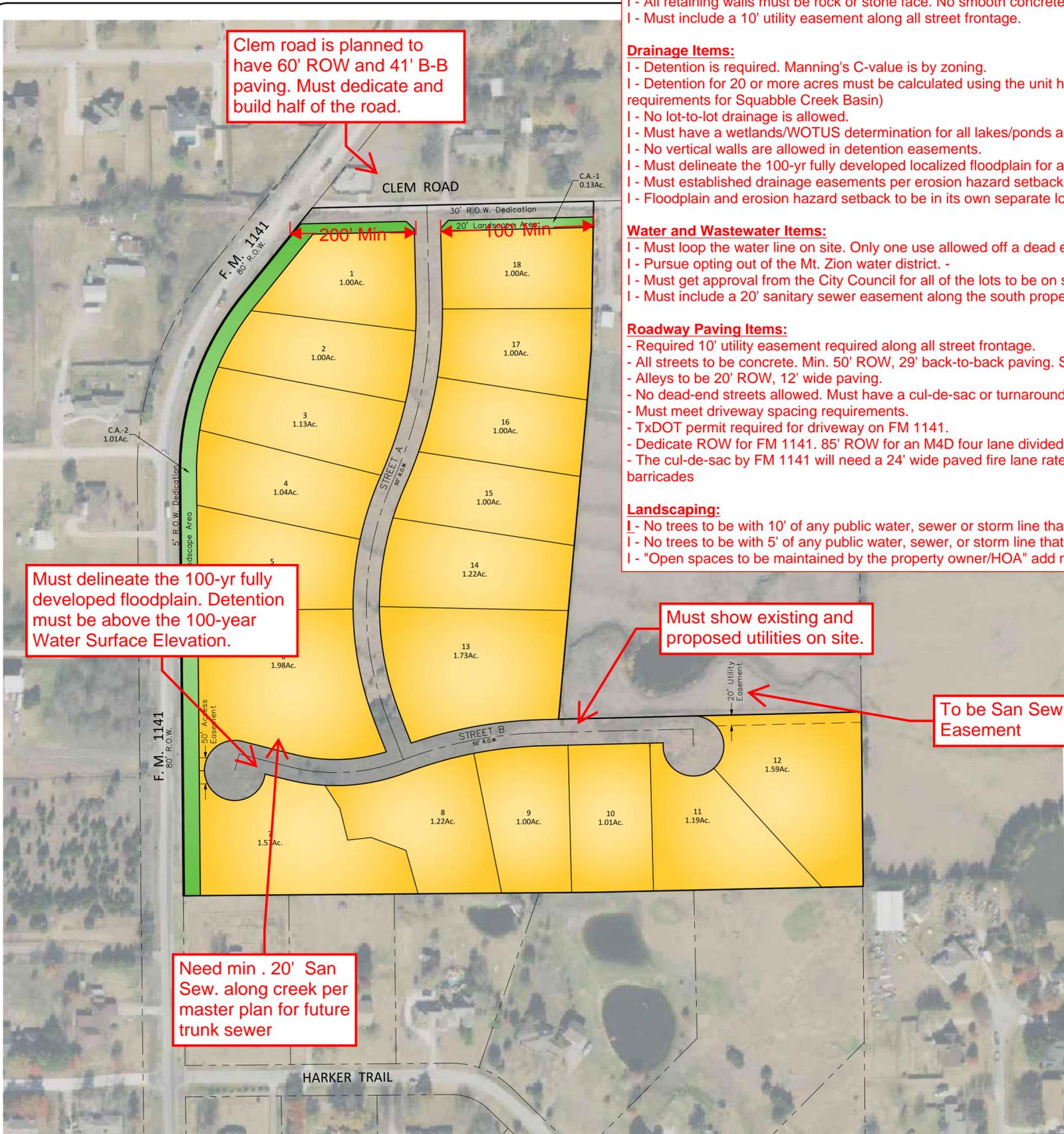
Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

I - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	10/22/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved
10/20/2020: No comments			



General Items:

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- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
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- I - Floodplain and erosion hazard setback to be in its own separate lot to be owned and maintained by the HOA. lot/property line will vary based on this.

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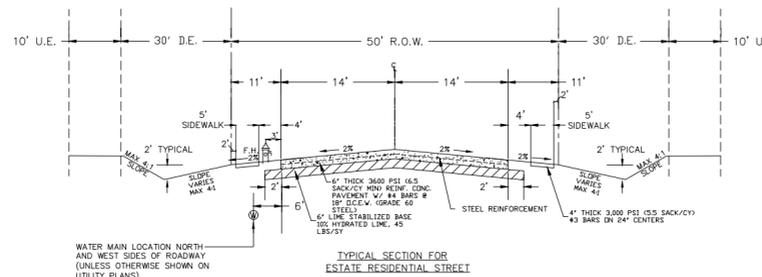
- I - Must loop the water line on site. Only one use allowed off a dead end line.
- I - Pursue opting out of the Mt. Zion water district. -
- I - Must get approval from the City Council for all of the lots to be on septic.
- I - Must include a 20' sanitary sewer easement along the south property line for the future sewer line per the master plan.

Roadway Paving Items:

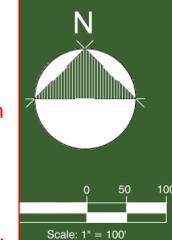
- Required 10' utility easement required along all street frontage.
- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must meet driveway spacing requirements.
- TxDOT permit required for driveway on FM 1141.
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- I - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.



26.012 ACRES
18 LOTS
 (1.0 Acre Minimum)



CONCEPT PLAN
WALKER ESTATES
CITY, OF ROCKWALL, TEXAS





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address CLEM RD @ FM 1141

Subdivision

Lot

Block

General Location SOUTHEAST CORNER OF CLEM ROAD AND FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use AGRICULTURE

Proposed Zoning PLANNED DEVELOPMENT

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 26.012

Lots [Current] 1

Lots [Proposed] 18

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Alex Freeman

Applicant F2 Capital Partners, LLC

Contact Person Alex Freeman

Contact Person Mitchell Fielding and/or Michael Fielding

Address 18740 Wainborough Ln

Address 4232 Ridge Road, Suite 104

City, State & Zip Dallas, TX 75287

City, State & Zip Heath, TX 75032

Phone 469-233-4774

Phone 214-225-4700

E-Mail afreeman@pinnaclemonte.com

E-Mail mitchell@f2capital.com and michael@f2capital.com

NOTARY VERIFICATION [REQUIRED]

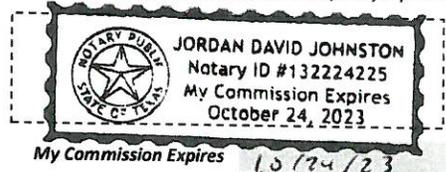
Before me, the undersigned authority, on this day personally appeared ALEX FREEMAN [Owner] the undersigned, who stated the information on this application to be true and certified the following:

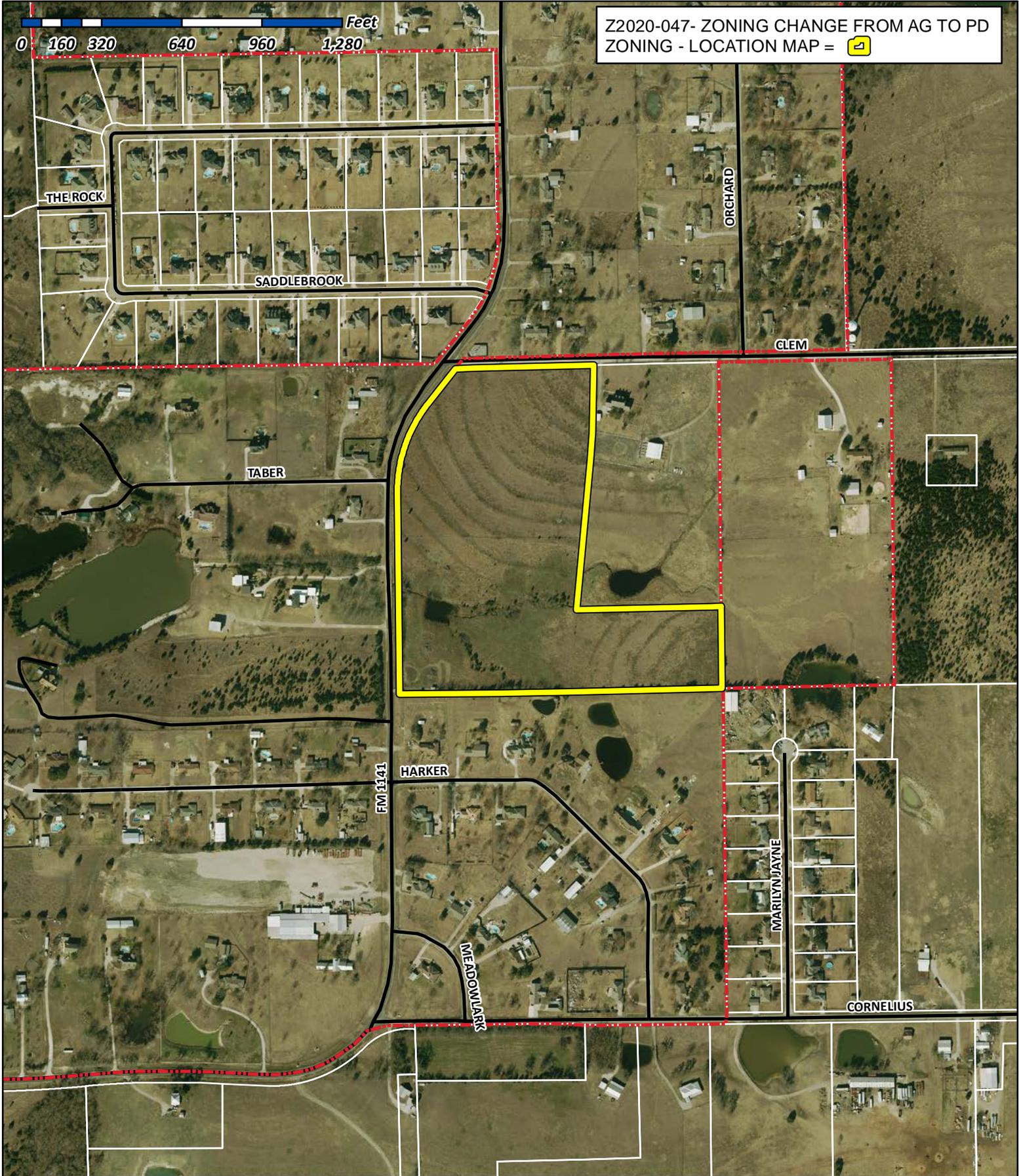
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of OCTOBER, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 15 day of OCTOBER, 2020.

Owner's Signature [Signature]

Notary Public in and for the State of Texas [Signature]





Z2020-047- ZONING CHANGE FROM AG TO PD
 ZONING - LOCATION MAP = [yellow square icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

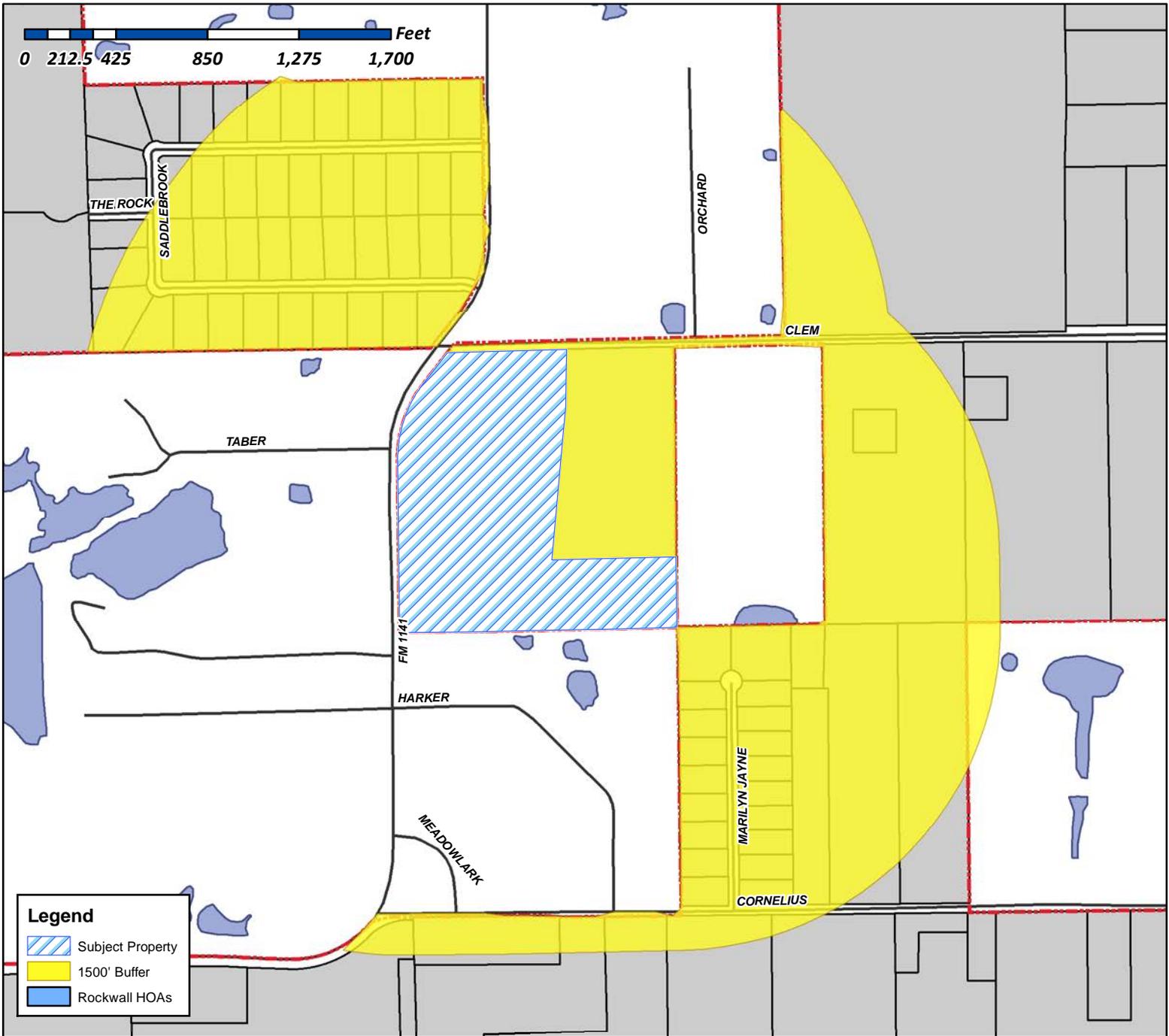




City of Rockwall

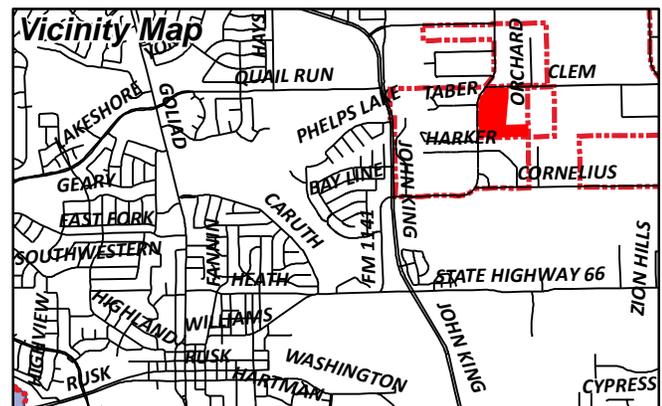
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-047
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SEC of Clem Road and FM 1141

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

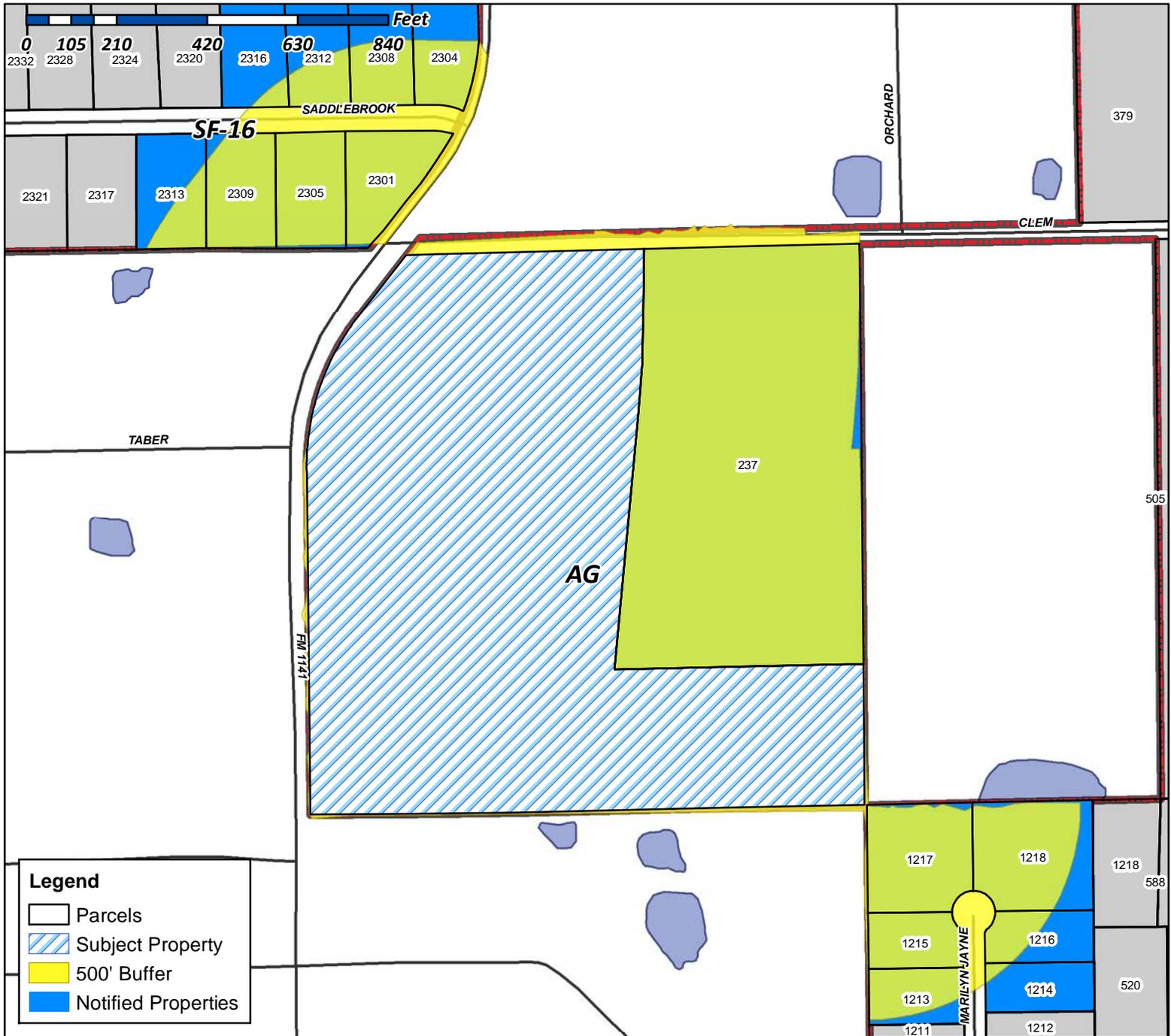




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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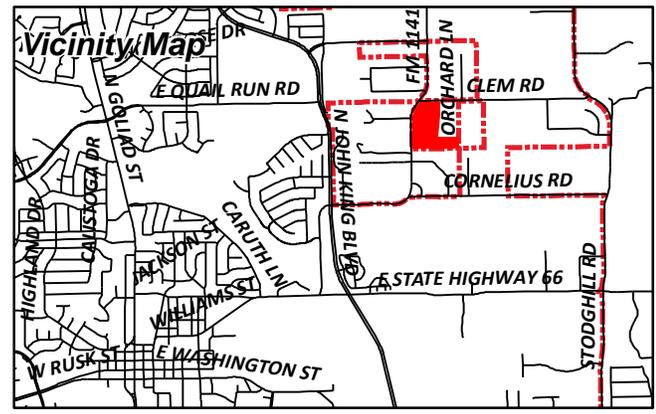
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-047
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SEC of Clem Road & FM 1141



Date Created: 10/19/2020
 For Questions on this Case Call (972) 771-7745

VASUNDHARA REDDY K AND
ALEX R FREEMAN
CLEM RD @ FM1141
ROCKWALL, TX 75087

BERGERHOUSE PHILLIP & KERRI
1213 MARILYN JAYNE DR
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

CONFIDENTIAL
1215 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M
1216 MARILYN JAYNE DR
ROCKWALL, TX 75087

KELLY JAMES B & DEA S
1217 MARILYN JAYNE DR
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS
1218 MARILYN JAYNE DR
ROCKWALL, TX 75087

CULP TERRI L
2301 SADDLEBROOK LN
ROCKWALL, TX 75087

MURPHEY HARVEY W & BETTY J
2304 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE AARON & BARBARA
2305 SADDLEBROOK LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2308 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES JAMES E
2309 SADDLEBROOK LN
ROCKWALL, TX 75087

SMITH WILLIAM CLEVE JR &
EDITH LILLIAN
2312 SADDLEBROOK LN
ROCKWALL, TX 75087

ROMERO MARGARET ALLEN-
2313 SADDLEBROOK LANE
ROCKWALL, TX 75087

LLOYD DANIEL AND REBECCA R
2316 SADDLEBROOK LANE
ROCKWALL, TX 75087

M G & J K TAYLOR LIVING TRUST
MARK G TAYLOR AND JESSICA K TAYLOR-
TRUSTEES
237 CLEM ROAD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-047: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change form an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-047: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

THE SURVEY SET FORTH HEREON HAS BEEN CONDUCTED AND PREPARED AT THE REQUEST AND IN CONJUNCTION WITH THE INFORMATION PROVIDED BY THE CLIENT OR REPRESENTATIVES THEREOF. BG&A LAND SURVEYING, INC. HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR THE EXISTENCE OF EASEMENTS, RESTRICTIONS, ENCUMBRANCES OR OTHER FACTS OR MATTERS THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEY SET FORTH HEREON IS NOT TO BE RELIED UPON FOR FUTURE CONSTRUCTION PURPOSES. CONTACT ALL GOVERNING AUTHORITIES (MUNICIPALITIES, UTILITY AGENCIES, ASSOCIATIONS, ETC.) PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE TEXAS EXCAVATION SAFETY SYSTEM CAN BE CONTACTED BY CALLING 811. CALL BEFORE YOU DIG.

PROPERTY DESCRIPTION

STATE OF TEXAS:
COUNTY OF ROCKWALL:

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72, ROCKWALL COUNTY, TEXAS, BEING A PART OF THAT CERTAIN TRACT OF LAND CONVEYED TO GLEN D. WALKER AND WIFE, NITA A. WALKER, RECORDED IN VOLUME 542, PAGE 12, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 60D NAIL FOUND FOR CORNER AT THE INTERSECTION NEAR THE CENTER OF CLEM ROAD AND THE RECOGNIZED SOUTHEAST LINE OF F. M. HIGHWAY 1141, SAID POINT BEING THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 06 MINUTES 09 SECONDS EAST, WITHIN SAID CLEM ROAD AND THE RECOGNIZED NORTH LINE OF SAID WALKER TRACT, A DISTANCE OF 533.77 FEET TO A POINT FOR CORNER, SAID POINT BEING THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT AND THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO MARK G. AND JESSICA K. TAYLOR, RECORDED IN VOLUME 7106, PAGE 191, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 01 DEGREES 23 MINUTES 21 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, PASSING A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR WITNESS AT A DISTANCE OF 17.18 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 283.63 FEET TO A 4 INCH METAL FENCE CORNER FOR ANGLE POINT;

THENCE SOUTH 05 DEGREES 06 MINUTES 43 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, A DISTANCE OF 113.32 FEET TO A 4 INCH METAL FENCE CORNER FOR ANGLE POINT;

THENCE SOUTH 05 DEGREES 35 MINUTES 13 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, A DISTANCE OF 597.75 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER, SAID POINT BEING AN INNER ELL CORNER OF HEREIN DESCRIBED TRACT AND THE SOUTHWEST CORNER OF SAID TAYLOR TRACT;

THENCE NORTH 89 DEGREES 06 MINUTES 09 SECONDS EAST, ALONG THE SOUTH LINE OF SAID TAYLOR TRACT, A DISTANCE OF 574.09 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER IN THE WEST LINE OF A TRACT OF LAND CONVEYED TO ALLEN AND LISA STEVENSON, RECORDED IN VOLUME 171, PAGE 885, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE SOUTHEAST CORNER OF SAID TAYLOR TRACT AND THE MOST SOUTHERLY NORTHEAST CORNER OF HEREIN DESCRIBED TRACT;

THENCE SOUTH 00 DEGREES 06 MINUTES 20 SECONDS EAST ALONG THE RECOGNIZED EAST LINE OF SAID WALKER TRACT AND THE WEST LINE OF SAID STEVENSON TRACT A DISTANCE OF 334.12 FEET TO A 3/8 INCH IRON ROD FOUND FOR CORNER, THE APPARENT NORTHEAST CORNER OF LOT 5 OF MEADOWVIEW RANCH ESTATES, RECORDED IN CABINET A, SLIDE 247, PLAT RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE RECOGNIZED SOUTHEAST CORNER OF SAID WALKER TRACT AND THE APPARENT SOUTHWEST CORNER OF SAID STEVENSON TRACT;

THENCE SOUTH 89 DEGREES 13 MINUTES 16 SECONDS WEST, ALONG THE RECOGNIZED SOUTH LINE OF SAID WALKER TRACT, A DISTANCE 510.41 FEET TO A 3/8 INCH IRON ROD FOUND FOR ANGLE POINT;

THENCE NORTH 89 DEGREES 58 MINUTES 55 SECONDS WEST, ALONG THE RECOGNIZED SOUTH LINE OF SAID WALKER TRACT, A DISTANCE OF 778.67 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER IN THE RECOGNIZED EAST LINE OF SAID F. M. HIGHWAY 1141, SAID POINT BEING THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT;

THENCE NORTH, ALONG THE RECOGNIZED EAST LINE OF SAID HIGHWAY, PASSING A 60D NAIL FOUND ON A WOOD HIGHWAY MONUMENT FOR WITNESS AT A DISTANCE OF 734.11 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 810.94 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 AT THE BEGINNING OF A CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 39 DEGREES 09 MINUTES 01 SECONDS, A RADIUS OF 533.14 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 19 DEGREES 34 MINUTES 34 SECONDS EAST- 357.25 FEET;

THENCE ALONG THE RECOGNIZED SOUTHEAST LINE OF SAID HIGHWAY AND SAID CURVE TO THE RIGHT AN ARC LENGTH OF 364.29 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 AT THE END OF SAID CURVE;

THENCE NORTH 39 DEGREES 09 MINUTES 00 SECONDS EAST ALONG THE RECOGNIZED SOUTHEAST LINE OF SAID HIGHWAY, A DISTANCE OF 215.67 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1,133,124.22 SQUARE FEET OR 26.012 ACRES OF LAND.

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR (BRIAN GALLIA) HEREBY CERTIFIES TO (CHICAGO TITLE, BENCHMARK TITLE, SKORBURG RETAIL CORPORATION, CLEN D. WALKER AND NITA A. WALKER), IN CONNECTION WITH THE TRANSACTION DESCRIBED IN G.F. PL15-17531 THAT, THE SURVEY AND DESCRIPTION SET FORTH HEREON WERE PREPARED FROM AN ACTUAL ON-THE-GROUND INSPECTION OF THE SUBJECT PROPERTY; SUCH SURVEY WAS CONDUCTED BY THE UNDERSIGNED, OR UNDER HIS DIRECTION; THE PLAT HEREON CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME THE SURVEY WAS PERFORMED AND IS AN ACCURATE REPRESENTATION OF THE PROFESSIONAL OPINION OF THE UNDERSIGNED; LOCATION AND DESCRIPTION OF VISIBLE AND APPARENT IMPROVEMENTS ARE AS INDICATED AND THERE ARE NO VISIBLE AND APPARENT ENCROACHMENTS OR PROTRUSIONS ON THE GROUND EXCEPT AS INDICATED; THE SURVEY SET FORTH HEREON WAS PERFORMED EXCLUSIVELY FOR THE BENEFIT OF THE ABOVE NOTED PARTIES AND TRANSACTION; ANY USE OF THIS SURVEY BY OTHER PARTIES AND/OR USE FOR ANY OTHER PURPOSE SHALL BE AT USER'S OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

EXECUTED THIS 4TH DAY OF JANUARY, 2016

Brian Gallia
BRIAN GALLIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569



ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTE: ACCORDING TO THE F.I.R.M. IN COMMUNITY PANEL NO. 48397C0035L THIS PROPERTY APPEARS TO LIE IN ZONE X AND APPEARS NOT TO LIE WITHIN THE 100 YEAR FLOOD ZONE. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON DEED RECORDED IN VOLUME 542, PAGE 12. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300

LEGEND	
	BRICK
	COVERED AREA
	CONCRETE
	WOOD DECK
	STONE
	GRAVEL/ROCK ROAD OR DRIVE
	ASPHALT PAVING
	IRF/IRS-IRON ROD FOUND/SET
	1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
	1/2" IRON ROD SET
	1" IRON PIPE FOUND
	MONUMENT FOUND
	"X" FOUND/SET
	ELECTRIC METER
	LP-LIGHT POLE
	GUY WIRE
	D&UE- DRAINAGE & UTILITY EASEMENT
	BL- BUILDING LINE/SET BACK LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BARBED/WIRE
	METAL FENCE
	PIPE FENCE
	W-W WATER LINE
	G-G GAS LINE
	ELECTRIC METER
	LP-LIGHT POLE
	GUY WIRE
	PFC-POINT FOR CORNER
	ROW- RIGHT-OF-WAY
	EASMT- EASEMENT
	AC- AIR CONDITIONING
	PE- POOL EQUIPMENT
	UGT-UNDERGROUND TELEPHONE
	CATV-UNDERGROUND CABLE TV
	TRANS-ELECTRIC TRANSFORMER
	OHP-OHP OVERHEAD POWER LINE

~BRIAN GALLIA & ASSOCIATES~
BG&A Land Surveying, Inc.
 8877 COUNTY ROAD 3609
 QUINLAN, TEXAS, 75474
 PHONE: (903) 447-0658
 FAX: (903) 447-0931
 www.bgasurveying.com

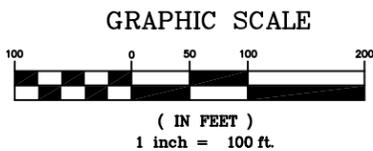
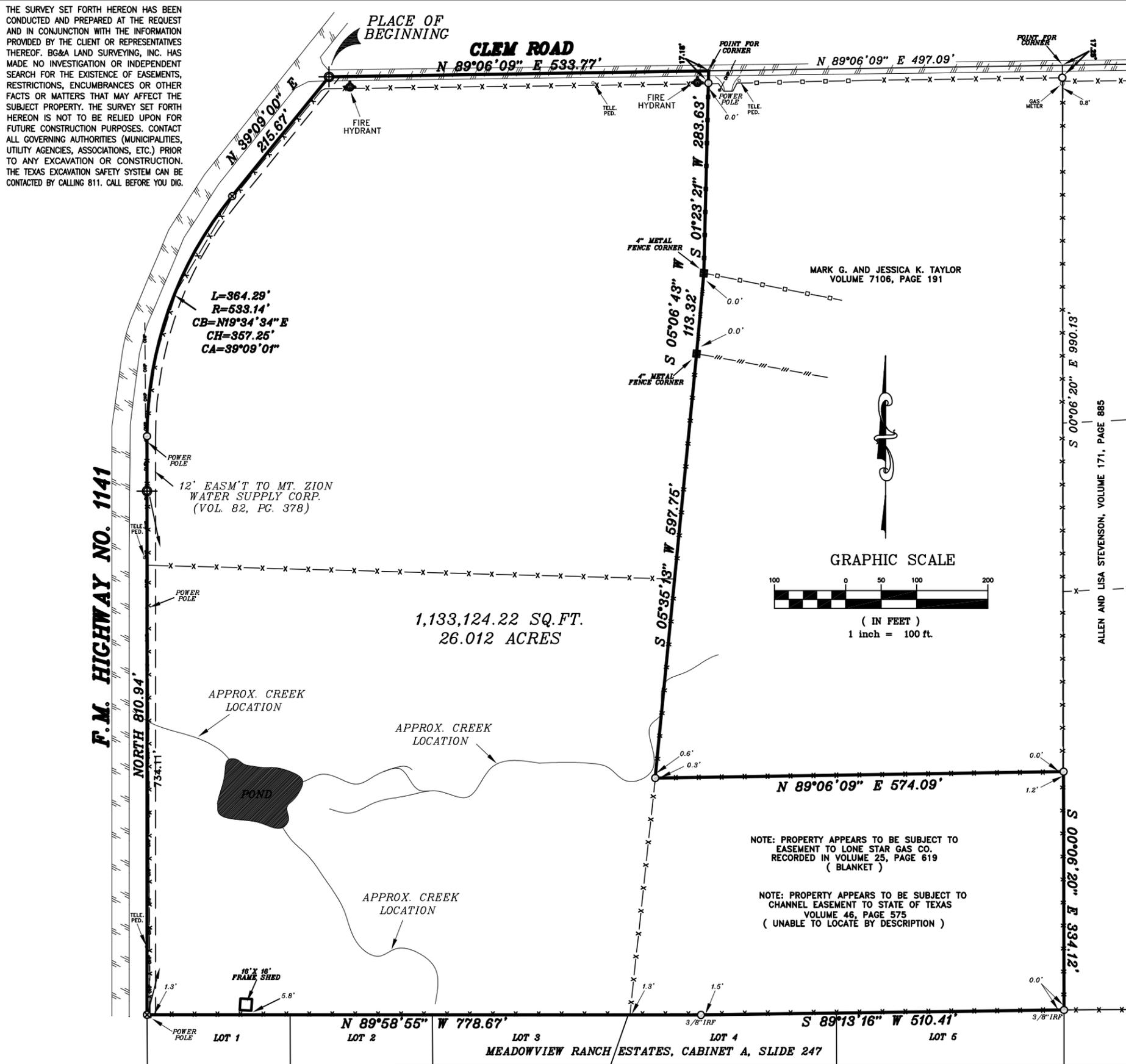
JOB NO. 1501740-2 CAD. TECH. A.OWEN

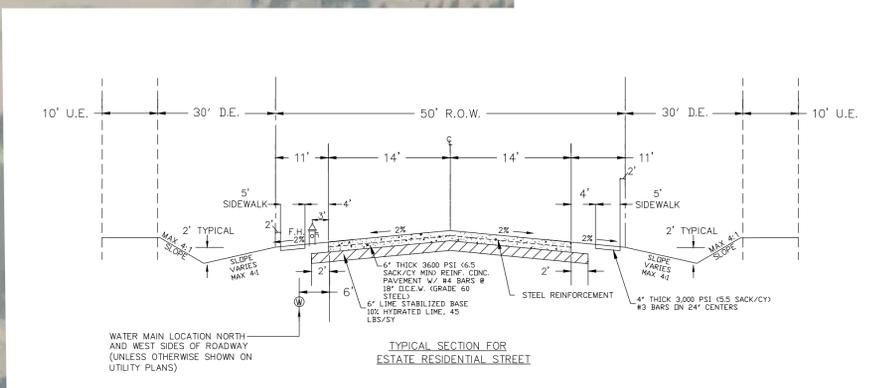
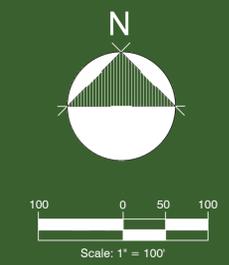
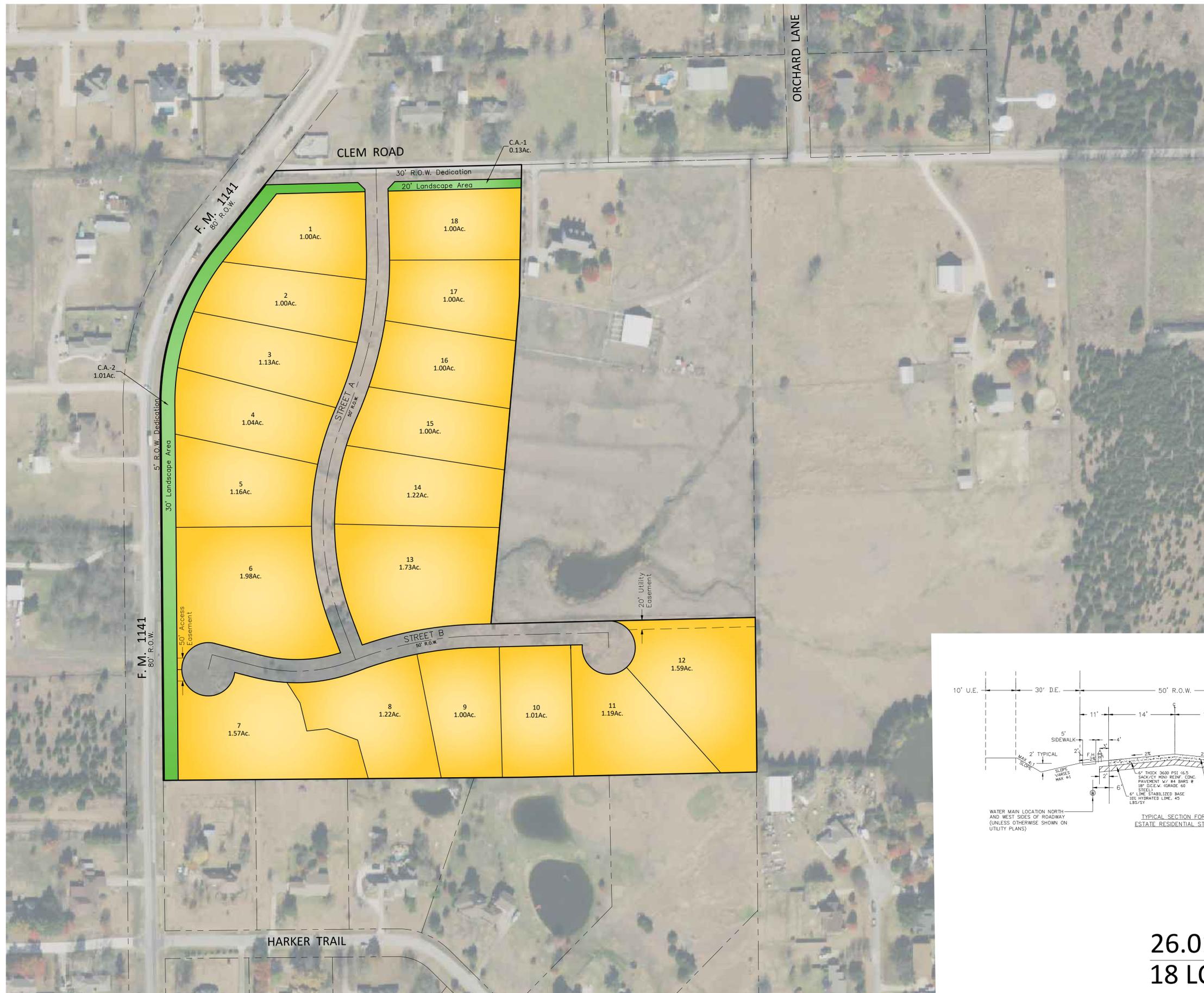
SURVEY PLAT

CLEM ROAD & F. M. HIGHWAY 1141

WILLIAM DALTON SURVEY, ABSTRACT NO. 72

ROCKWALL COUNTY, TEXAS





26.012 ACRES
18 LOTS
 (1.0 Acre Minimum)

CONCEPT PLAN
WALKER ESTATES
 CITY, OF ROCKWALL, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
 CIVIL ENGINEERING / PROJECT MANAGEMENT /
 FIRM REGISTRATION #FC011145
 201 WINDCO DRIVE, SUITE 200, WYLLIE, TX 75098
 972.941.1800 WWW.ENGCONC.COM FAX 972.941.1801

EXHIBIT D

Density and Development Standards

Density and Development Standards

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) are allowed on the Subject Property.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* included in *Exhibit "C"* and stated in Table 1, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	120' x 200'	43,560 SF	14	78%
B	140' x 200'	65,340 SF	4	12%
Maximum Permitted Units:			18	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development, District ordinance, the development standards stipulated by the Single Family 1 (SF-1) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the Subject Property. The maximum permissible density for the Subject Property shall not exceed 0.70 dwelling units per gross acre of land; however, in no case should the proposed development exceed 18 dwelling units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B
Minimum Lot Width ⁽¹⁾	120'	140'
Minimum Lot Depth	200'	200'
Minimum Lot Area	43,560 SF	65,340 SF
Minimum Front Yard Setback ^{(2) & (5)}	50'	50'
Minimum Side Yard Setback	25'	25'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	30'	30'
Minimum Length of Driveway Pavement	70'	70'
Maximum Height ⁽³⁾	38'	38'
Minimum Rear Yard Setback ⁽⁴⁾	30'	30'
Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]	2,500 SF	2,500 SF
Maximum Lot Coverage	20%	20%
Permitted Encroachment in Required Setbacks ⁽⁵⁾	Allowed	Allowed

General Notes:

- ¹: The minimum lot width shall be measured at the Front Yard Building Setback.
- ²: The location of the Front Yard Building Setback as measured from the front property line.
- ³: The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.
- ⁴: As measured from the rear yard property line.

⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimney, eaves, and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for a property; however, the encroachment shall not exceed five (5) feet on side yard setbacks (adjacent to a street) and shall not encroach into public right-of way. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

4. *Building Standards.* All development shall adhere to the following building standards:

- a. *Masonry Requirement.* The minimum masonry requirement for the exterior facades of all buildings shall be 80%. For purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g., HardiBoard or Hardy Plank) and stucco (i.e., three part stucco or a comparable—to be determined by staff) may be used for up to 50% of the masonry requirement.
- b. *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- c. *Garage Orientation.* Garages shall be oriented in a traditional swing (or j-swing), side entry, or in a flat-front entry configuration (i.e., even with the front façade of the primary structure). Garages utilizing a traditional swing (or j-swing) are permitted to have a single garage door facing the street that is behind the width of the double car garage that is accessed from a traditional swing configuration. All garage doors shall be required to have upgraded finishes (e.g., divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, glass and metal garage doors or similar alternatives—to be approved by staff).

5. *Anti-Monotony Matrix.* Developer may elect to incorporate customary anti-monotony standards and restrictions in the codes, covenants and restrictions that will be recorded against the Subject Property, which language shall be acceptable to city staff.

6. *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- a. *Wrought Iron/Tubular Steel.* All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the front building line of any structure shall be required to be a pipe-rail or similar. No chain link or wooden fencing shall be allowed.
- b. *Wrought Iron/Tubular Steel.* Lots located along the perimeter of the subdivision, abutting open spaces, greenbelts, and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences shall not exceed six (6) feet in height. All perimeter fencing of the development shall incorporate masonry columns at 45-feet off center spacing.

7. *Landscape and Hardscape Standards.*

- a. *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All canopy/shade trees planted within this development shall be a minimum of four (4) caliper inches in size and all accent, ornamental, and under-story trees shall be a minimum of four (4) feet in height.
- b. *Landscape Buffers.* All landscape buffers and plantings located within buffer areas shall be maintained by the Homeowners Association (HOA).
- c. *Street Trees.* Prior to issuance of a Certificate of Occupancy (CO), all residential single-family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by Section 7.1 of this ordinance in the following size proportions:
 - i. A minimum of three (3), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of the required lots.
 - ii. A minimum of two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the rear yards of the required lots.
 - iii. A minimum of two (2) three (3) inch trees measured six (6) inches above the root ball shall be planted in the side yards facing the street.
- d. *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the HOA.
- e. *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan. Developer shall be required to install sidewalks along each street located within the Subject Property.
- f. *Streets.* All streets (excluding drives, fire lanes, and private parking areas) shall be built in accordance with the City's street standards.
- g. *Lighting.* Light poles shall not exceed 20-feet in total height (i.e., base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- h. *Buried Utilities.* New distribution power lines required to serve the Subject Property shall be placed underground, whether such lines are located internally or along the perimeter of the Subject Property, unless otherwise authorized by the City Council. Temporary power lines constructed across undeveloped portions of the Subject Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- i. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major and minor entry point(s) for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The final design of these areas shall be provided on the PD Site Plan.
- j. *Homeowner's Association (HOA).* A HOA shall be formed to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision

Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain any and all private neighborhood parks, trails, open space and common areas (including drainage facilities), irrigation, landscaping, screening fences, and neighborhood signage associated with this development.

- k. On-Site Sewage Facilities.* Septic systems are permitted on all lots within this subdivision pending conformance to the following standards:
 - i.* All septic systems shall be designed by a licensed on-site sewage facility (OSSF) professional (e.g., licensed engineer, sanitarian, etc.).
 - ii.* A stamped and signed copy of the Septic System plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a lot-by-lot basis.
 - iii.* All septic systems shall be inspected and approved by the City's selected inspector.
- l. Storm Drainage.* Above surface open channel drainage is permitted within this subdivision so long as it is designed by a licensed engineer and conforms to applicable City ordinances.
- m. Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

FISCAL IMPACT ANALYSIS TOOL

ASSUMPTIONS: (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

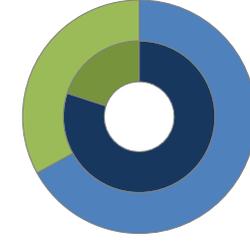
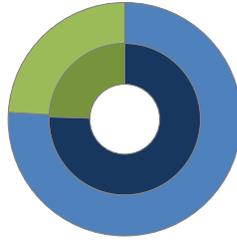
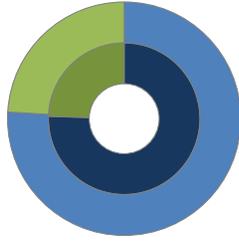
DISCLAIMER: The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

SUMMARY OF METHODOLOGY: The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

CASE NO.: Z2020-047

CASE NAME: Zoning Change (AG to PD) [Walker Estates]

ZONING MAP

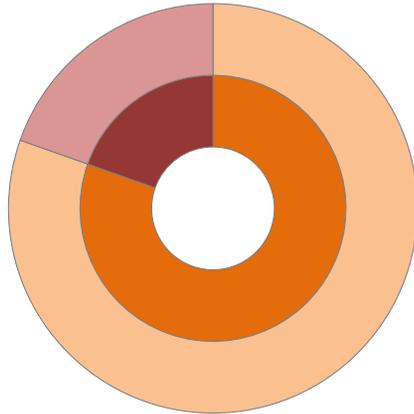


	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,934.11	75.49%	\$ 4,086,072,836.39	75.92%	10,934.11	75.49%	4,094,107,025.43	75.95%	-	0.00%	8,034,189.04	0.15%	80%	67%	-8.95%
NON-RESIDENTIAL	3,550.31	24.51%	\$ 1,296,229,067.61	24.08%	3,550.31	24.51%	1,296,229,067.61	24.05%	-	0.00%	-	0.00%	20%	33%	-8.95%
	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,484.42	100.00%	5,390,336,093.04	100.00%			8,034,189.04	0.15%	100%	100%	
OPEN SPACE	2,487.57		\$ 380,531,381.26		2,487.57		\$ 381,558,120.00								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 5,771,894,213.04								

	PRESENT		ACRES	%
	ACRES	%		
RESIDENTIAL	19,697.30	80.41%		
NON-RESIDENTIAL	4,799.77	19.59%		
	24,497.07	100.00%		
OPEN SPACE	6,114.49			
TOTAL	30,611.56			

	PROPOSED		ACRES	%
	ACRES	%		
RESIDENTIAL	19,697.30	80.41%		
NON-RESIDENTIAL	4,799.77	19.59%		
	24,497.07	100.00%		
OPEN SPACE	6,114.49			
TOTAL	30,611.56			

	CHANGE	
	ACRES	%
RESIDENTIAL	-	0.00%
NON-RESIDENTIAL	-	0.00%



FUTURE LAND USE MAP

ESTIMATED COST/REVENUES

BENCHMARKS	[A]	[B]	[C]	[B] - [C]
	Current Zoning	Current Zoning Potential @ BO	Proposed Zoning @ BO	Proposed vs. Current
Residential Value	\$ 540,400.00	\$ 18,417,403.14	\$ 8,034,189.04	\$ (10,383,214.10)
Non-Residential Value	\$ -	\$ -	\$ -	\$ -
Residential Acreage	26.01	26.01	26.01	-
Non-Residential Acreage	-	-	-	-
ANNUAL REVENUES				
Residential Revenues	\$ 1,999.48	\$ 68,184.33	\$ 29,726.50	\$ (38,457.83)
Non-Residential Revenues	\$ -	\$ -	\$ -	\$ -
Direct Sales Tax Increase	\$ -	\$ -	\$ -	\$ -
Indirect Sales Tax Increase	\$ -	\$ 83,143.30	\$ 21,132.85	\$ (62,010.45)
Total Revenues	\$ 1,999.48	\$ 151,327.64	\$ 50,859.35	\$ (100,468.28)
ANNUAL EXPENDITURES				
Cost of Community Service for Residential	\$ -	\$ (160,380.23)	\$ (60,142.59)	\$ 100,237.64
Cost of Community Service for Non-Resident	\$ -	\$ -	\$ -	\$ -
Total Estimated Expenditures	\$ -	\$ (160,380.23)	\$ (60,142.59)	\$ 100,237.64
EST. ANN. COST/REVENUES	\$ 1,999.48	\$ (9,052.59)	\$ (9,283.23)	\$ (230.64)
OTHER BENCHMARKS				
Additional Citizens Added to Population		203	52	(152)
Estimated Non-Resident Consumers in City		-	-	-

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 26.012-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has received a request from Mitchell Fleming of F2 Capital Partners, LLC, a Texas limited liability company (*formerly known as Fielding Capital, LLC*) on behalf of Reddy K. Vasundhara and Alex R. Freeman for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses, on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That the development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the zoning classification for the *Subject Property*;

SECTION 3. That the development of the *Subject Property* shall generally be in accordance

with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That the development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(i) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Preliminary Plat
 - (2) Master Open Space Plan
 - (3) PD Site Plan
 - (4) Final Plat
- (c) *Preliminary Plat.* A Preliminary Plat covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed concurrently with a *Master Open Space Plan* application for the development.
- (d) *Master Open Space Plan.* A *Master Open Space Plan* for the *Subject Property*, prepared in accordance with *Exhibit 'C'* of this ordinance, shall be considered for approval by the Planning and Zoning Commission and City Council (*if necessary*) following a recommendation of the Parks and Recreation Board. A *Master Open Space Plan* application may be processed concurrently with a *PD Site Plan* application for the development.
- (e) *PD Site Plan.* A *PD Site Plan* for the development shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed concurrently with a *Final Plat* application for the development.
- (f) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat* shall be submitted for approval. A *Final Plat* application may be processed concurrently with a *PD Site Plan* application for the development.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a

penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF DECEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A':
Legal Description

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, Abstract No. 72. Rockwall County, Texas. being a part of that certain tract Lofland conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in Volume 542, Page 12, Real Property Records. Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a 60d nail found for corner at the intersection near the center of Clem Road and the recognized southeast line of F.M. Highway 1141, said point being the northwest corner of herein described tract;

THENCE North 89 degrees 06 minutes 09 seconds East, within said Clem Road and the recognized north line of said Walker tract, a distance of 533.77 feet to a point for corner, said point being the northeast corner of herein described tract and the northwest corner of a tract of land described in deed to Mark G. and Jessica K. Taylor, recorded in Volume 7106, Page 191, Official Public Records, Rockwall County, Texas;

THENCE South 01 degrees 23 minutes 21seconds West, along the west line of said Taylor tract, passing a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for witness at a distance of 17.18 feet and continuing for a total distance of 283.63 feet to a 4 inch metal fence corner for angle point;

THENCE South 05 degrees 06 minutes 43 seconds West, along the west line of said Taylor tract, a distance of 113.32 feet to a 4 inch metal fence corner for angle point;

THENCE South 05 degrees 35 minutes 13 seconds West, along the west line of said Taylor tract, a distance of 597.75 feet to a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for corner, said point being an inner ell corner of herein described tract and the southwest corner of said Taylor tract;

THENCE North 89 degrees 06 minutes 09 seconds East, along the south line of said Taylor tract, a distance of 574.09 feet to a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for corner in the west line of a tract of land conveyed to Allen and Lisa Stevenson, recorded in Volume 171, Page 885, Real Property Records, Rockwall County, Texas, said point being the southeast corner of said Taylor tract and the most southerly northeast corner of herein described tract;

THENCE South 00 degrees 06 minutes 20 seconds East along the recognized east line of said Walker tract and the west line of said Stevenson tract a distance of 334.12 feet to a 3/8 inch iron rod found for corner, the apparent northeast corner of Lot 5 of Meadowview Ranch Estates, recorded in Cabinet A, Slide 247, Plat Records, Rockwall County, Texas, said point being the recognized southeast corner of said Walker tract and the apparent southwest corner of said Stevenson tract;

THENCE South 89 degrees 13 minutes 16 seconds West, along the recognized south line of said Walker tract, a distance 510.41 feet to a 3/8 inch iron rod found for angle point;

THENCE North 89 degrees 58 minutes 55 seconds West, along the recognized south line of said Walker tract, a distance of 778.67 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 for corner in the recognized east line of said F.M. Highway 1141, said point being the southwest corner of herein described tract;

Exhibit 'A':
Legal Description

THENCE North, along the recognized east line of said highway, passing a 60d nail found on a wood highway monument for witness at a distance of 734.11 feet and continuing for a total distance of 810.94 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 at the beginning of a curve to right having a central angle of 39 degrees 09 minutes 01 seconds, a radius of 533.14 feet and a chord bearing and distance of North 19 degrees 34 minutes 34 seconds East - 357.25 feet;

THENCE along the recognized southeast line of said highway and said curve to the right an arc length of 364.29 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 at the end of said curve;

THENCE North 39 degrees 09 minutes 00 seconds East along the recognized southeast line of said highway, a distance of 215.67 feet to the Place of Beginning and containing 1,133,124.22 square feet or 26.012 acres of land.

**Exhibit 'D':
Density and Development Standards**

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	120' x 200'	43,560 SF	14	77.78%
B	140' x 200'	65,340 SF	4	22.22%
<i>Maximum Permitted Units:</i>			18	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 0.79 dwelling units per gross acre of land; however, in no case should the proposed development exceed 18 dwelling units. All lots shall conform to the standards depicted in *Table 1*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B
Minimum Lot Width ⁽¹⁾	120'	140'
Minimum Lot Depth	200'	200'
Minimum Lot Area	43,560 SF	65,340 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	50'	50'
Minimum Side Yard Setback	25'	25'
Minimum Side Yard Setback (Adjacent to a Street) ^{(5) & (7)}	50'	50'
Minimum Length of Driveway Pavement	70'	70'
Maximum Height ⁽³⁾	38'	38'
Minimum Rear Yard Setback ⁽⁴⁾	30'	30'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,500 SF
Maximum Lot Coverage	20%	20%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: Flat front entry garage configurations are permitted on up to 20% of the total amount of lots provided the front yard building setback is increased to a minimum of 25-feet.
- ⁷: This includes lots that side to Clem Road or FM-1141.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façades of all buildings shall be 90% on each facade, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *FM-1141 as shown on Exhibit 'C' of this ordinance*).
- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation*. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street that is behind the front façade of the primary structure. Garages configured in a flat front entry configuration shall be allowed on a maximum of 20% of the lots provided that the front yard building setback is increased to 25-feet. All garage doors shall be required to have upgraded finishes (e.g. *divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff*) [examples of acceptable garage configurations are depicted in Figures 1 & 2]. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

Figure 1. Examples of Upgraded Finishes



Divided Bays

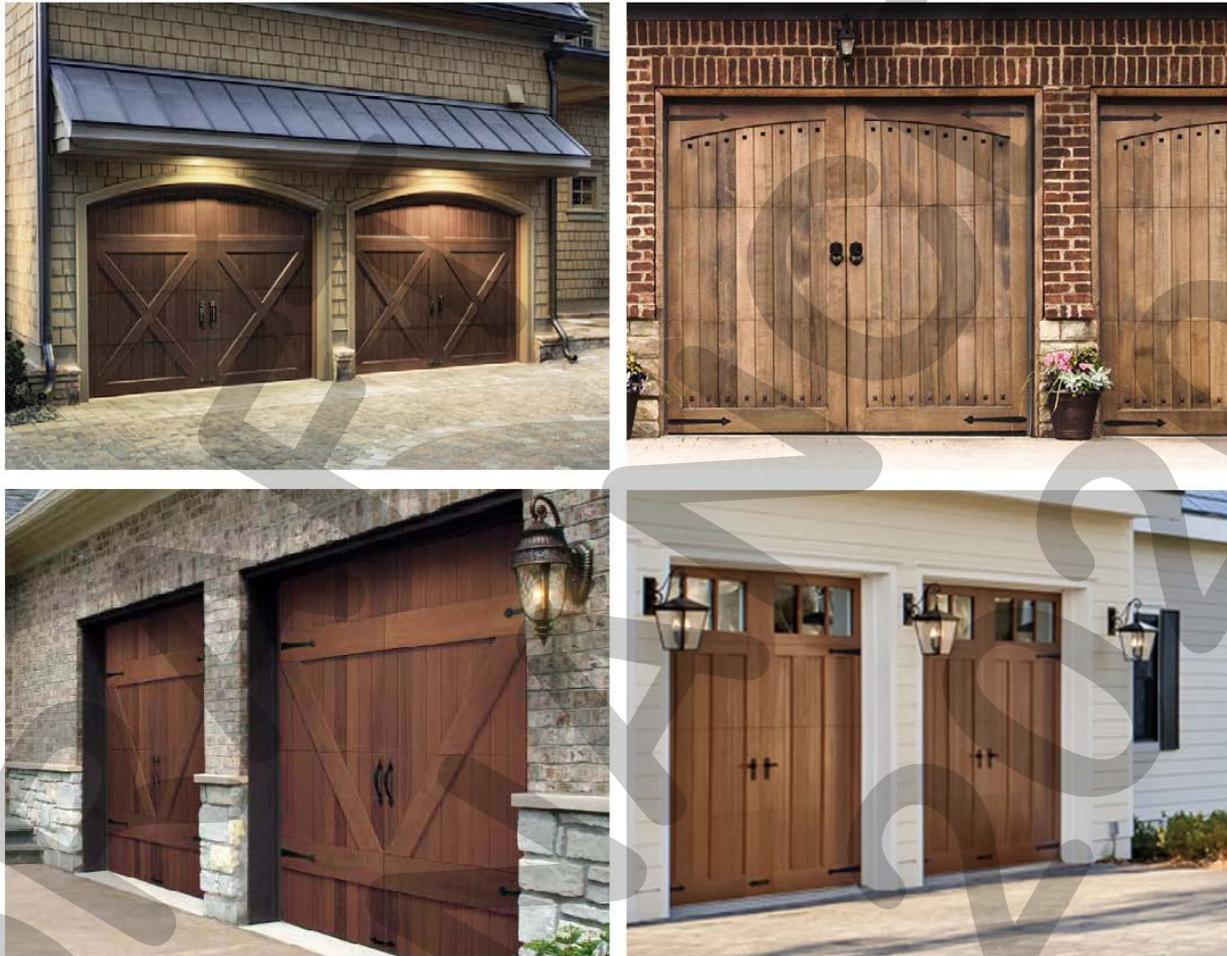
Carriage Hardware

Cedar Cladding

Continued on Next Page ...

**Exhibit 'D':
Density and Development Standards**

Figure 2. Examples of Acceptable Garage Enhancements



(5) Anti-Monotony Restrictions. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	120' x 200'	(1), (2), (3), (4)
B	140' x 200'	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on FM-1141 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

Exhibit 'D':
Density and Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachments (*i.e. porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (a) **Wrought Iron/Tubular Steel.** All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the

Exhibit 'D':
Density and Development Standards

front building setback of any structure (*i.e. Front Yard Fences*) shall be required to be pipe-rail or a similar material, and shall be approved in accordance with the requirements of the Unified Development Code (UDC). Chain-link, wood or any type of opaque fencing shall be prohibited.

- (b) Perimeter Fencing. Lots located along the perimeter of the subdivision, abutting open spaces, greenbelts, and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences shall not exceed six (6) feet in height. All perimeter fencing for the development shall incorporate masonry columns at a maximum center spacing of 45-feet.

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) Landscape Buffer and Sidewalks. A minimum of a thirty (30) foot landscape buffer shall be provided along FM-1141 and Clem Road and shall incorporate ground cover, a *built-up* berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within and meandering through the landscape buffers.

- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*. Developer shall be required to install sidewalks along each street located within the Subject Property.

- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.

Exhibit 'D':
Density and Development Standards

- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 4.38% open space (or 1.14-acres), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).
- (13) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major and minor entry point(s) for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The final design of these areas shall be provided on the PD Site Plan.
- (14) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (15) On-Site Sewage Facilities. Septic systems are permitted on all lots within this subdivision pending conformance to the following standards:
- (a) All septic systems shall be designed by a licensed on-site sewage facility (OSSF) professional (e.g., *licensed engineer, sanitarian, etc.*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a lot-by-lot basis.
 - (c) All septic systems shall be inspected and approved by the City's selected inspector.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: P2020-044
PROJECT NAME: Saddle Star North
SITE ADDRESS/LOCATIONS: NW/FM 552/ JOHN KING

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/21/2020	Needs Review

10/21/2020: P2020-044; Preliminary Plat for the Saddle Star North Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-044) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 80 (PD-80) for Single-Family 8.4 (SF-8.4) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff by November 3, 2020, and provide any additional information that is requested.

M.6 Provide a Treescape Plan for the development. [§01.02, Art. 11, UDC]

I.7 Why are there bubbled areas on the plat? Remove or provide a label indicating their purpose.

M.8 Proposed street names require approval by the GIS Department. [§01.02, Art. 11, UDC]

M.9 Will there be right-of-way dedication along FM 552? Indicate the location and dimensions of any proposed right-of-way dedication. [§01.02, Art. 11, UDC]

M.10 Indicate all proposed corner clips/visibility triangles and any subsequent dedication. [§01.02, Art. 11, UDC]

M.11 Topographical information and physical features are to be indicated using contours at 2-foot intervals. Please change. [§01.02, Art. 11, UDC]

I.12 Please provide two (2) large copies [24" x 36" FOLDED] and one PDF version for a subsequent/final review by staff.

I.13 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020
- 2) Parks and Recreations Board meeting will be held on November 3, 2020
- 3) Planning & Zoning Regular meeting will be held on November 10, 2020
- 4) City Council meeting will be held on November 16, 2020

I.14 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

10/22/2020: M - Must include a 20' wide easement for the future 15" sewer main per the Master Sewer Plan.

M - Must show existing and proposed utilities on site.

M - Must meet City Standards of Design and Construction.

M - Minimum easement width is 20' for new easements. No structures allowed in easements.

M - 10' Utility Easement required along all street ROW.

M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.

M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.

M - Must show existing and proposed utilities for the project.

M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.

M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.

M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply).

M - Must include a 20'x20' ROW clip at every intersection for visibility.

M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.

M - Must build a left turn lane for Northbound traffic on John King.

M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

The following are informational comments for your engineering review process.

General Items:

M - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

M - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

M - 10' Utility Easement required along all street ROW.

M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.

M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

Drainage Items:

I - No walls allowed in detention.

- I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Flood Study is required to delineate the floodplain as well as elevations. Review fees apply. See the City Standards of Design for flood study requirements.
- I - Must get a WOTUS study for the ponds on site.
- I - The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation.
- I - Must submit a LOMR to FEMA. No house permits will be released near the floodplain until this is complete.
- M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.
- I - The property boundaries against the flood plain and HOA lot are subject to change in the engineering phase based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards. No Lot to Lot Drainage Allowed. Erosion hazard setback shall not be in a residential lot.
- I - Will need to collect runoff from existing estate lot development to the west and collect before it enters proposed lots on easterly edge on proposed development.

Water and Wastewater Items:

- M - Must show existing and proposed utilities for the project.
- M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- M - Minimum public sewer is 8". Aerial crossing of sewer will not be allowed. Steel encase creek crossings.
- M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.
- I - Water is available in John King and FM 552, but you will need to bore under the roadway to reach both lines.
- M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply)
- I - Sewer pro-ratas will be assessed at final plat
- I - Discourage aerial sewer crossings.
- I - 15" sewer line must be deep enough to receive sewer from Stoney Hollow LS.

Roadway Paving Items:

- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - Alleys to be 20' ROW, 12' wide paving.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Must verify the ROW required for FM 552. See attached map.
- M - Must include a 20'x20' ROW clip at every intersection for visibility.
- M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
- M - Must build a left turn lane for Northbound traffic on John King.
- I - Must conduct a traffic study for the intersections on John King and FM 552. deceleration lanes may be required. (review fees apply)

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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10/21/2020: All street names approved with the exception of Peyton Dr. We already have a similar street in 75087 that will cause confusion for public safety response. Please alter or provide a different name.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	10/21/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved w/ Comments

10/20/2020: FYI Comments for Site Plan next phase

1. Tree Mitigation required
2. Adhere to John King landscape buffer / thoroughfare plan
3. Landscape / Treescape plans will be required

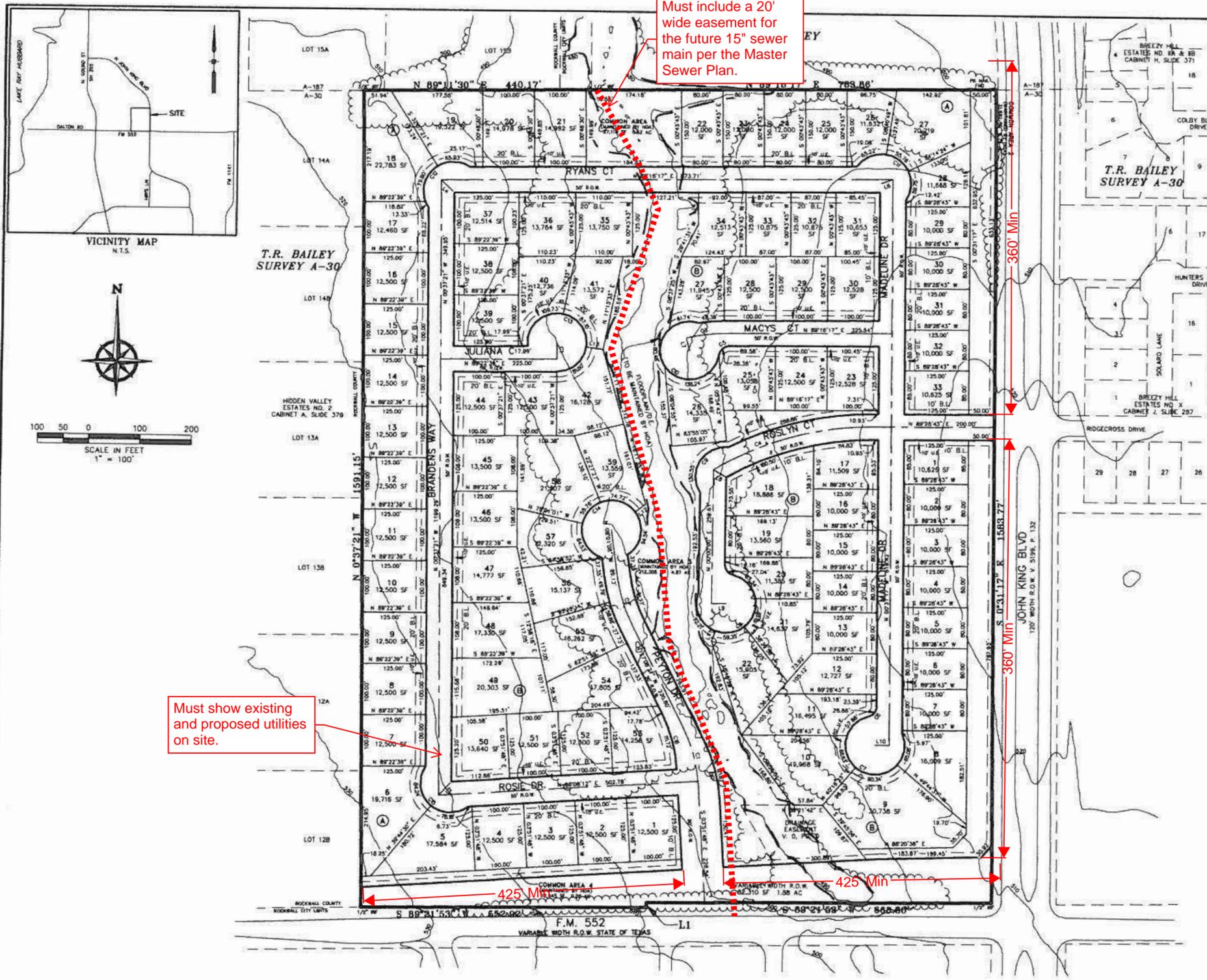
10/21/2020: 2020 Park Land Dedication Fee (P2020-044)

Park District 7

Cash In Lieu Of Land: \$456.00 x 92 units = \$41,952.00

Pro Rata Equipment Fees: \$432.00 x 92 units = \$39,744.00

These are the fees that will be due on final plat



Must include a 20' wide easement for the future 15" sewer main per the Master Sewer Plan.

Must show existing and proposed utilities on site.

REVIEWED FOR PRELIMINARY APPROVAL
 Planning and Zoning Commission _____ Date _____
 APPROVED FOR PREPARATION OF FINAL PLAT
 Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

- General Items:**
- M - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees (Water, Wastewater & Roadway)
 - M - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - I - Retaining walls 3' and over must be engineered.
 - I - All retaining walls must be rock or stone face. No smooth concrete walls.
 - M - 10' Utility Easement required along all street ROW.
 - M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.
 - M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

- Drainage Items:**
- I - No walls allowed in detention.
 - I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
 - I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
 - I - Manning's C-value is per zoning type.
 - I - Flood Study is required to delineate the floodplain as well as elevations. Review fees apply. See the City Standards of Design for flood study requirements.
 - I - Must get a WOTUS study for the ponds on site.
 - I - The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation.
 - I - Must submit a LOMR to FEMA. No house permits will be released near the floodplain until this is complete.
 - M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.
 - I - The property boundaries against the flood plain and HOA lot are subject to change in the engineering phase based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards. No Lot to Lot Drainage Allowed. Erosion hazard setback shall not be in a residential lot.
 - I - Will need to collect runoff from existing estate lot development to the west and collect before it enters proposed lots on easterly edge on proposed development.

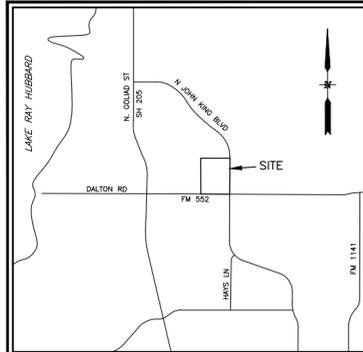
- Water and Wastewater Items:**
- M - Must show existing and proposed utilities for the project.
 - M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.
 - I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
 - M - Minimum public sewer is 8". Aerial crossing of sewer will not be allowed. Steel encase creek crossings.
 - M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.
 - I - Water is available in John King and FM 552, but you will need to bore under the roadway to reach both lines.
 - M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply)
 - I - Sewer pro-ratas will be assessed at final plat
 - I - Discourage aerial sewer crossings.
 - I - 15" sewer line must be deep enough to receive sewer from Stoney Hollow LS.

- Roadway Paving Items:**
- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
 - I - Alleys to be 20' ROW, 12' wide paving.
 - I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
 - I - Must verify the ROW required for FM 552. See attached map.
 - M - Must include a 20'x20' ROW clip at every intersection for visibility.
 - M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
 - M - Must build a left turn lane for Northbound traffic on John King.
 - I - Must conduct a traffic study for the intersections on John King and FM 552. deceleration lanes may be required. (review fees apply)

- Landscaping:**
- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

CHORD
121.04'
99.85'
72.77'
318.83'
24.69'
73.13'
74.08'
104.28'
74.33'
115.00'
112.98'
75.83'
50.00'
113.56'
110.95'
121.04'

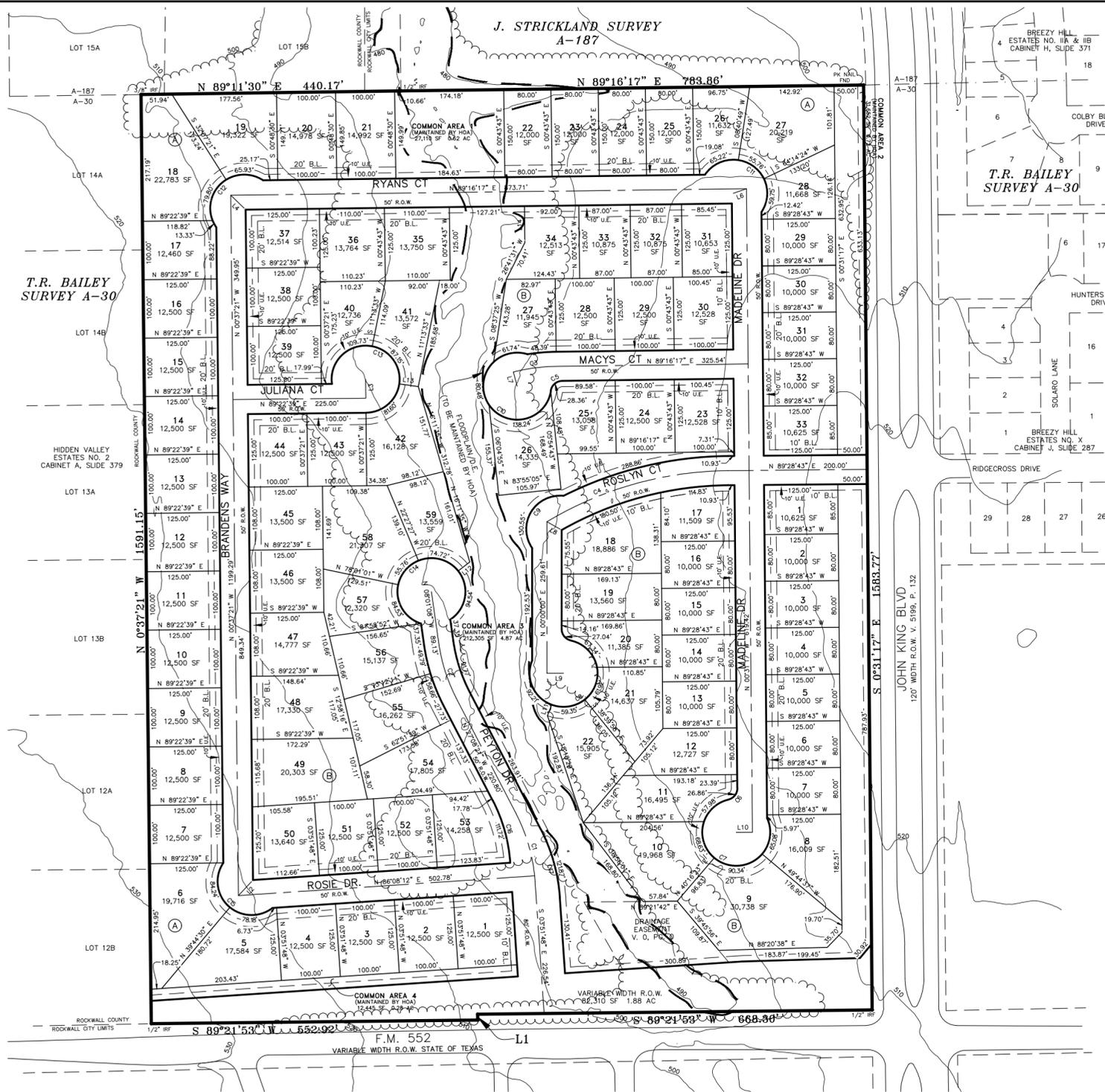
TH



VICINITY MAP
N.T.S.



SCALE IN FEET
1" = 100'



LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	100.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	281°01'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	188°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



- Notes:
1. Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
 2. A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retaining walls or other obstacles lying on the actual lot corner.
 3. By graphical plotting, no part of the parcel described herein lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 4839700030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 4. All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 6. The Open Space Lots to be maintained by the Homeowners Association (HOA).

See notes on first page.
This page not fully reviewed

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
OPEN SPACE = 6.508 AC.
92 DWELLING UNITS
2.06 UNITS PER ACRE

PRELIMINARY PLAT
Case No. PP2020-000
SADDLE STAR ESTATES NORTH
92 SINGLE FAMILY LOTS
4 COMMON AREA TRACTS
44.56 ACRES
SITUATED IN THE
T.R. BAILEY SURVEY, A-30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

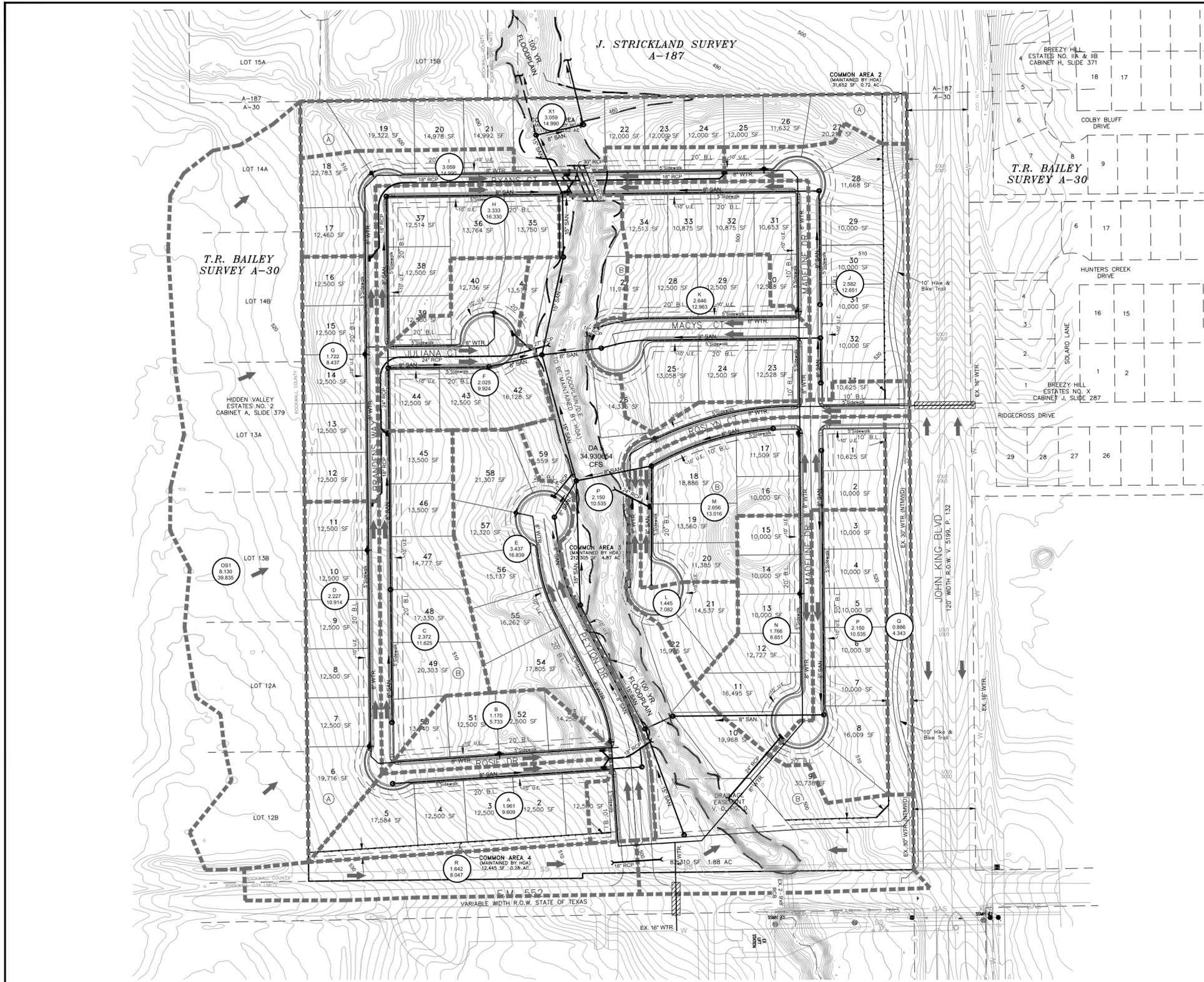
OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
3076 HAYS LANE
ROCKWALL, TX 75087

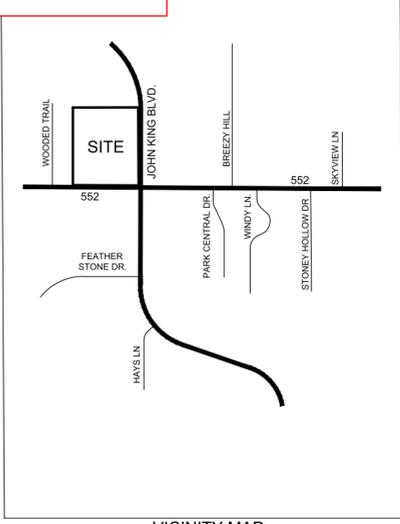
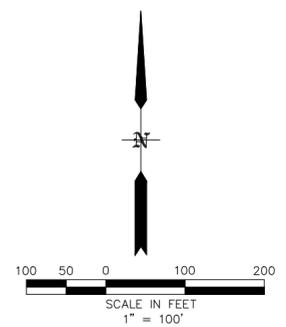
LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 510

ENGINEERING & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401

DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1



See notes on first page.
 This page not fully reviewed. Move utilities to the pre-plat or have a separate sheet for water and sewer. Remove all drainage plans from pre-plat submittal.



- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA ACREAGE DRAINAGE AREA "Q"

Q = CIA
 C = 0.50
 I = 9.80

NOTE:
 STORM SEWER MAINS ARE TO BE LOCATED ON THE CL OF ROADS. IN PLACES WHERE STORM SEWER MAINS AND DRAINAGE AREA BOUNDARIES COINCIDED, THE STORM SEWER IS GRAPHICALLY SHOWN NEXT TO THE CL FOR CLARITY.

CAUTION! EXISTING UTILITIES
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES INDICATED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
 BM#1 (#102)
 CIRC "ASO SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
 ELEVATION = 531.58

BM#3 (#106)
 CIRC "ASO SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8"X8" BOX CULVERT.
 ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
 201 WINDCO CIR, STE 200, WYLLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

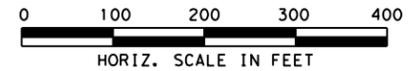
REVISIONS:	
DRAWN: RH	DATE:
CHECKED: RCK	DATE: 10/16/2020
PROJECT NO.: 6812	
DWG FILE NAME: 2020-10-16-6812 PRELIMENGR.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 10/16/2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

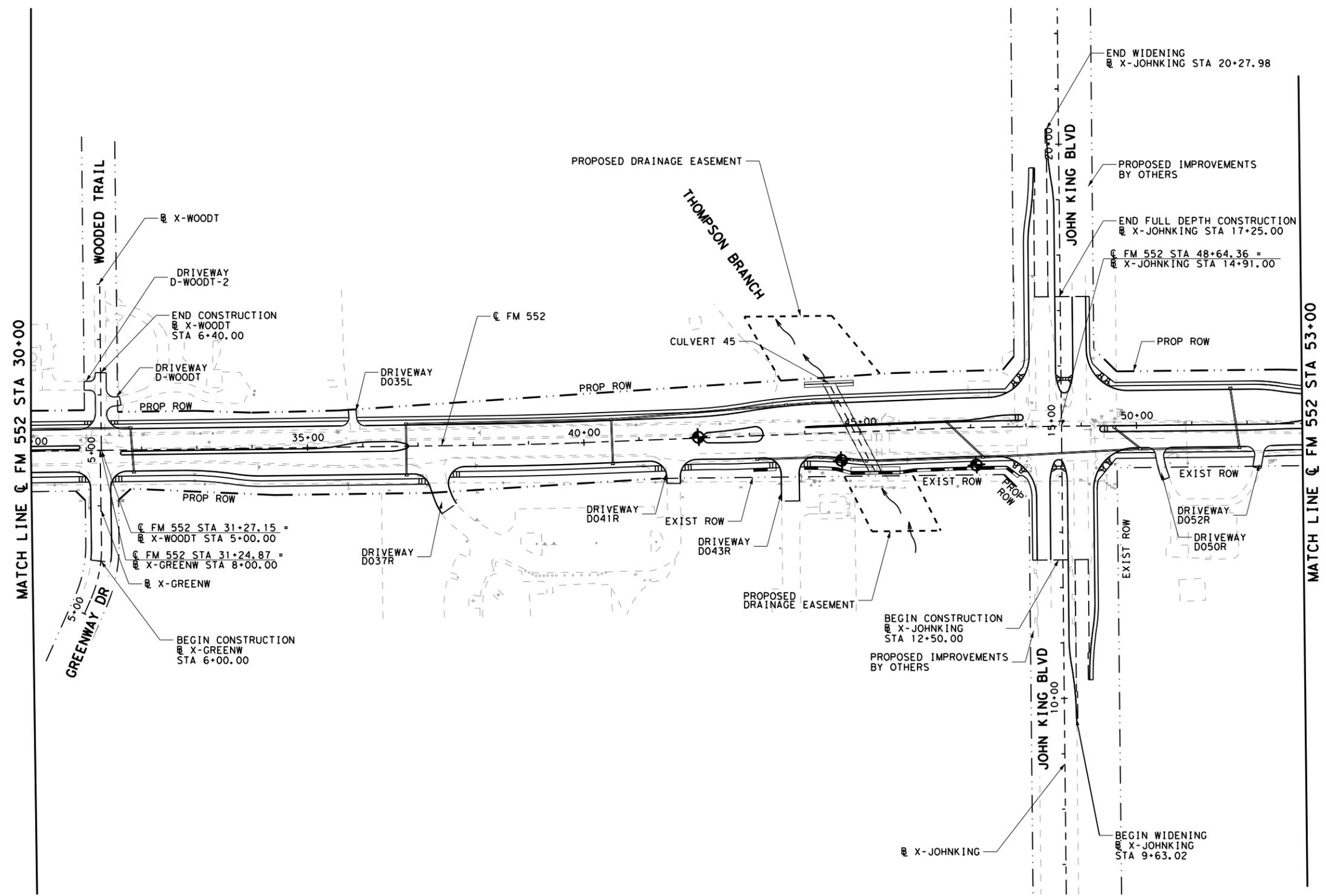
PRELIMINARY DRAINAGE PLAN

SADDLE STAR NORTH
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
 1
 OF
 2



- LEGEND**
- RETAINING WALL
 - - - EXIST ROW
 - · - · - PROP ROW
 - - - PROP DRAINAGE EASEMENT
 - - - PROP STORM DRAIN
 - ⊕ BORE TEST HOLE
 - SURVEY CONTROL POINT

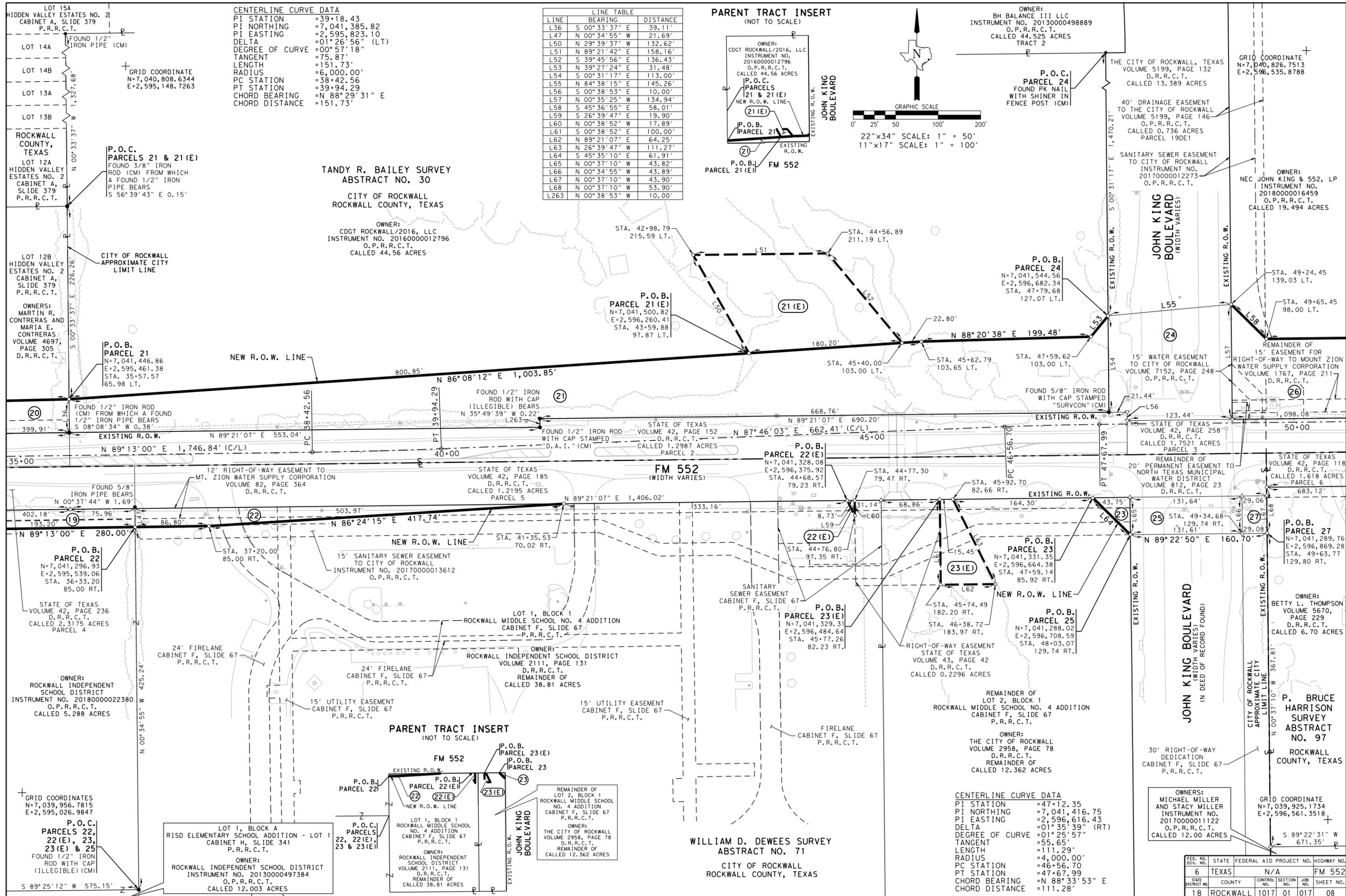


100% PLANS ADEQUATE FOR UTILITY RELOCATION

By: JOSIAH F. BELVEAL
 P.E. # 122828
 Date: 6/30/2020

THIS DOCUMENT IS RELEASED FOR THE SPECIFIC PURPOSE OF UTILITY ADJUSTMENT DESIGN. NOT INTENDED FOR CONSTRUCTION OR BIDDING

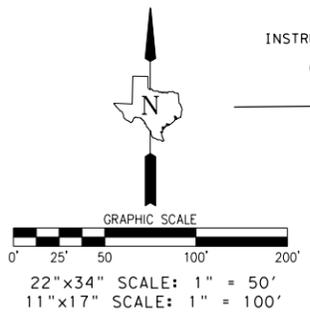
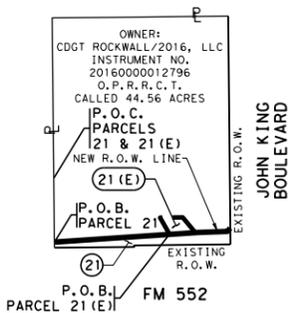
NO.	REVISIONS	BY	DATE
 HNTB Corporation The HNTB Companies Engineers Architects Planners Firm Registration Number F-420			
 ©2020 by Texas Department of Transportation; all rights reserved			
PROJECT LAYOUT STA 30+00 TO STA 53+00 SHEET 2 OF 13			
FED. RD. DIV. NO.	FEDERAL AID PROJECT NO.	SHEET NO.	
6		4	
STATE	DISTRICT	COUNTY	
TEXAS	DAL	ROCKWALL	
CONTROL	SECTION	JOB	HIGHWAY NO.
1017	01	015	FM 552



CENTERLINE CURVE DATA
 PI STATION = 39+18.43
 PI NORTHING = 7,041,385.82
 PI EASTING = 2,595,823.10
 DELTA = 01°26'56" (LT)
 DEGREE OF CURVE = 00°57'18"
 TANGENT = 75.87'
 LENGTH = 151.73'
 RADIUS = 6,000.00'
 PC STATION = 38+42.56
 PT STATION = 39+94.29
 CHORD BEARING = N 88°29'31" E
 CHORD DISTANCE = 151.73'

LINE	BEARING	DISTANCE
L36	S 00°33'37" E	39.11'
L47	N 00°34'55" W	21.69'
L50	N 29°39'37" W	132.62'
L51	N 89°21'42" E	158.16'
L52	S 39°45'56" E	136.43'
L53	N 39°27'24" E	31.48'
L54	S 00°31'17" E	113.00'
L55	N 84°38'15" E	145.26'
L56	S 00°38'53" E	10.00'
L57	N 00°35'25" W	134.94'
L58	S 45°36'55" E	58.01'
L59	S 26°39'47" E	19.90'
L60	N 00°38'52" W	17.89'
L61	S 00°38'52" E	100.00'
L62	N 89°21'07" E	64.25'
L63	N 26°39'47" W	111.27'
L64	S 45°35'10" E	61.91'
L65	N 00°37'10" W	43.82'
L66	N 00°34'55" W	43.89'
L67	N 00°37'10" W	43.90'
L68	N 00°37'10" W	53.90'
L263	N 00°38'53" W	10.00'

PARENT TRACT INSERT
(NOT TO SCALE)



OWNER:
 BH BALANCE III LLC
 INSTRUMENT NO. 2013000498889
 O.P.R.C.T.
 CALLED 44.525 ACRES
 TRACT 2

GRID COORDINATE
 N=7,040,826.7513
 E=2,596,535.8788

TANDY R. BAILEY SURVEY
ABSTRACT NO. 30

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
 OWNER:
 CDGT ROCKWALL/2016, LLC
 INSTRUMENT NO. 2016000012796
 O.P.R.C.T.
 CALLED 44.56 ACRES

FM 552
(WIDTH VARIES)

WILLIAM D. DEWEES SURVEY
ABSTRACT NO. 71

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CENTERLINE CURVE DATA
 PI STATION = 47+12.35
 PI NORTHING = 7,041,416.75
 PI EASTING = 2,596,616.43
 DELTA = 01°35'39" (RT)
 DEGREE OF CURVE = 01°25'57"
 TANGENT = 55.65'
 LENGTH = 111.29'
 RADIUS = 4,000.00'
 PC STATION = 46+56.70
 PT STATION = 47+67.99
 CHORD BEARING = N 88°33'53" E
 CHORD DISTANCE = 111.28'

FED. RD. DIV. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.		
6	TEXAS	N/A	FM 552		
STATE DISTRICT NO.	COUNTY	CONTROL NO.	SECTION NO.	JOB NO.	SHEET NO.
18	ROCKWALL	1017	01	017	08



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	NW/ FM 552 /John King		
Subdivision	Saddle Star North - <u>44.56</u>	Lot	Block
General Location	NW/ FM 552 /John King		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Plan Development <u>102015-084-80</u>	Current Use	Ag	
Proposed Zoning	Plan Development <u>80</u>	Proposed Use	Single Family	
Acreage	<u>44.56</u>	Lots [Current]	1	Lots [Proposed]
				92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	CDGT / <u>Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	KPA Consulting
Contact Person	Pat Atkins	Contact Person	Pat Atkins
Address	3076 Hays Ln.	Address	3076 Hays Ln.
City, State & Zip	Rockwall, TX 75087	City, State & Zip	Rockwall, TX 75087
Phone	972-388-6383	Phone	972-388-6383
E-Mail	kpatatkins@gmail.com	E-Mail	kpatatkins@gmail.com

NOTARY VERIFICATION [REQUIRED]

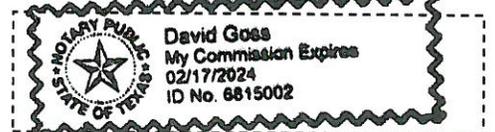
Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

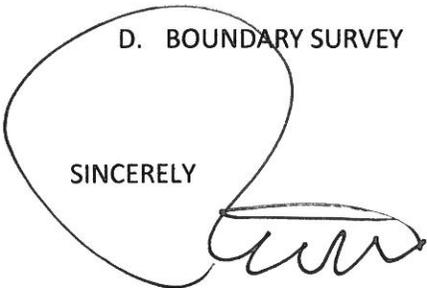
DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

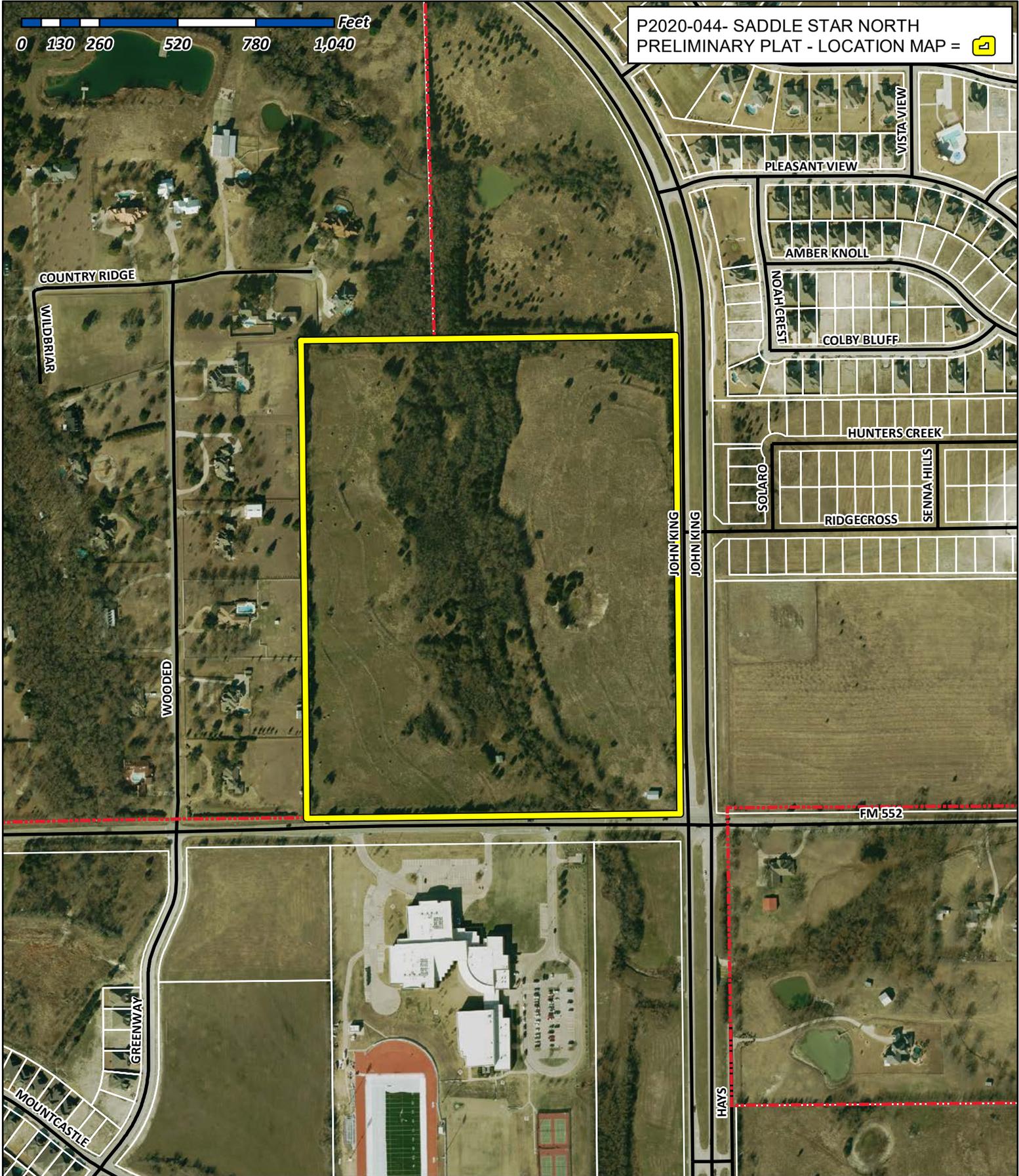
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY

A handwritten signature in black ink, appearing to read 'Pat Atkins', is written over the word 'SINCERELY' and extends to the right.

PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP = [icon]

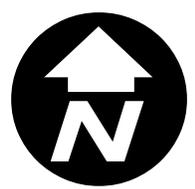
0 130 260 520 780 1,040 Feet

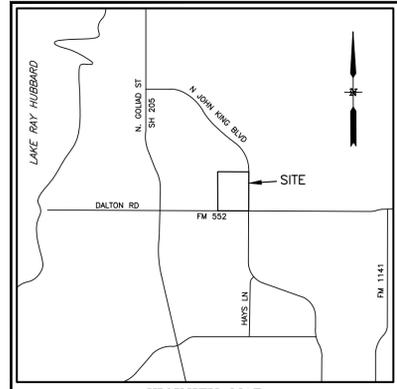


City of Rockwall

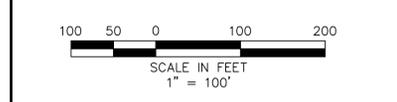
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

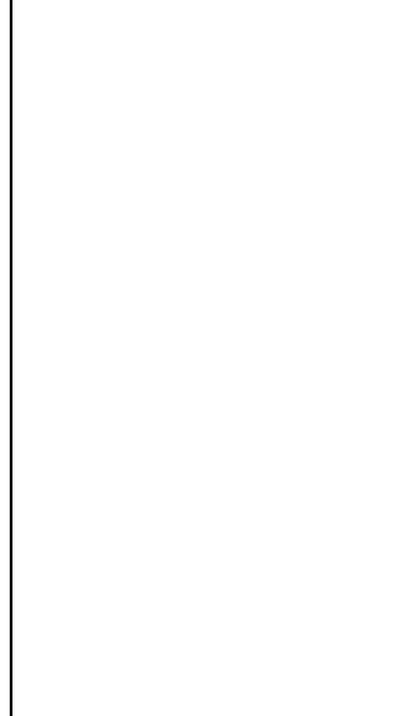




VICINITY MAP
N.T.S.



SCALE IN FEET
1" = 100'



ROCKWALL COUNTY
ROCKWALL CITY LIMITS

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

COMMON AREA 1
COMMON AREA 2
COMMON AREA 3
COMMON AREA 4

ROCKWALL COUNTY
ROCKWALL CITY LIMITS

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

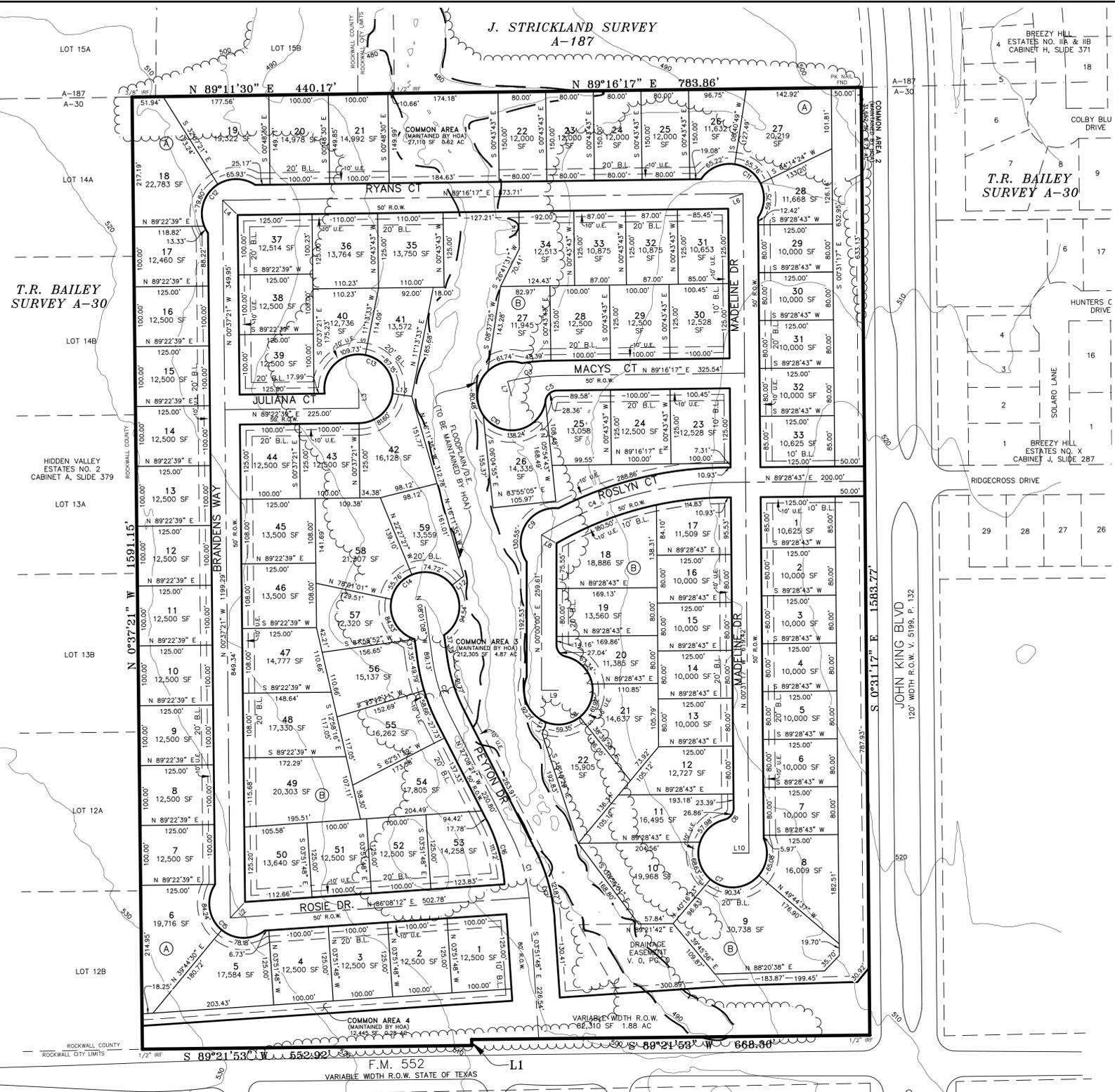
COMMON AREA 1
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LOT 15A
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COMMON AREA 1
COMMON AREA 2
COMMON AREA 3
COMMON AREA 4

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

REVIEWED FOR PRELIMINARY APPROVAL
Planning and Zoning Commission _____ Date _____
APPROVED FOR PREPARATION OF FINAL PLAT
Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____



ROCKWALL COUNTY
ROCKWALL CITY LIMITS

LOT 15A
LOT 15B
LOT 14A
LOT 14B
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LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
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COMMON AREA 1
COMMON AREA 2
COMMON AREA 3
COMMON AREA 4

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

REVIEWED FOR PRELIMINARY APPROVAL
Planning and Zoning Commission _____ Date _____
APPROVED FOR PREPARATION OF FINAL PLAT
Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

J. STRICKLAND SURVEY
A-187

T.R. BAILEY
SURVEY A-30

NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	10.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	281°01'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The Open Space Lots to be maintained by the Homeowners Association (HOA).

ZONING DISTRICT: PD-80
OPEN SPACE = 6.508 AC.
92 DWELLING UNITS
2.06 UNITS PER ACRE

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201
DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
3078 HAYS LANE
ROCKWALL, TX 75087
LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 510

PRELIMINARY PLAT
Case No. PP2020-000
SADDLE STAR ESTATES NORTH
92 SINGLE FAMILY LOTS
4 COMMON AREA TRACTS
44.56 ACRES
SITUATED IN THE
T.R. BAILEY SURVEY, A-30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401
DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: P2020-046
PROJECT NAME: Preliminary Plat for Gideon Grove Phase 2
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/21/2020	Needs Review

10/21/2020: P2020-046; Preliminary Plat for the Gideon Grove, Phase 2 Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-046) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 84 (PD-84) for Single-Family 7 (SF-7) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

M.5 Please refer to the Plat Checklist attached and provide the necessary information for a Preliminary Plat.

M.6 Please provide a Treescape Plan, Utilities Plan, and Drainage Plan for development.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by November 3, 2020, and provide any additional information that is requested.

I.8 Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for review by staff.

I.9 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on October 27, 2020

- 2) Parks and Recreations Board meeting will be held on November 3, 2020
- 3) Planning & Zoning Regular meeting will be held on November 10, 2020
- 4) City Council meeting will be held on November 16, 2020

1.10 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

- 10/22/2020: M - Minimum cul-de-sac radius is 57.5'R for the ROW and 47.5'R for paving.
M - Must include a 10' utility easement along all street frontage.
M - No Median opening will be allowed for Street E.
M - Must build E Quail Run Road (four lane divided roadway, 85' ROW width)
M - Must have a WoTUS determination for both existing ponds.
M - Add note to sheet, "drainage/detention and open spaces are to be maintained by the property owner/HOA.
M - Must meet City Standards of Design and Construction.
M - Must include a 10' utility easement along all street frontage.
M - Minimum 20'x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.
M - Minimum 30'x30' ROW clip at intersections of along Quail Run Rd and John King.
M - "Drainage/detention on site to be maintained by the HOA" add note to preliminary plat.
M - Must show existing and proposed utilities for the project.
M - Must build a left turn lane for both directions of Quail Run Rd. at Street D.
M - Must build a left turn lane on Quail to travel eastbound on John King.
M - must build E Quail Run Road to City Standards. 85' ROW width with a four lane divided roadway.
M - Need to show median locations.
M - Minimum Median opening spacing 260' ROW to ROW.
M - Minimum street spacing 200' edge to edge.

The following items are for your information for the engineering plan review process.

General Items:

- M - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Must include a 10' utility easement along all street frontage.
- M - Minimum 20'x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.
- M - Minimum 30'x30' ROW clip at intersections of along Quail Run Rd and John King.

Drainage Items:

- I - No walls allowed in detention.
- I - Detention is required. Detention may be able to be accounted for in the flood study.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Must get a WOTUS/Wetland study for the ponds on site.
- M - "Drainage/detention on site to be maintained by the HOA" add note to preliminary plat.

Water and Wastewater Items:

M - Must show existing and proposed utilities for the project.

I - Must loop 8" water line on site. And loop from existing 12" in E. Quail Run to the 16" along John King on the north end of subdivision.

I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

I - Minimum public sewer is 8".

Roadway Paving Items:

I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.

I - Alleys to be 20' ROW, 12' wide paving.

I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.

M - Must build a left turn lane for both directions of Quail Run Rd. at Street D.

M - Must build a left turn lane on Quail to travel eastbound on John King.

M - must build E Quail Run Road to City Standards. 85' ROW width with a four lane divided roadway.

M - Need to show median locations.

M - Minimum Median opening spacing 260' ROW to ROW.

M - Minimum street spacing 200' edge to edge.

Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	10/21/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved w/ Comments

10/20/2020: FYI comments for Site Plan next phase

1. Tree Mitigation required
2. Landscape and treescape plans required for landscape buffer and common areas
3. Adhere to John King Landscape buffer and thoroughfare plan

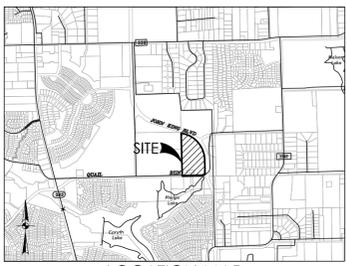
10/21/2020: 2020 Park Land Dedication Fee (P2020-046)

Park District 5

Cash In Lieu Of Land: \$516.00 x 84 lots = \$43,344.00

Pro Rata Equipment Fees: \$489.00 x 84 lots = \$41,076.00

These are fees that will be due on final plat



LOCATION MAP
NOT-TO-SCALE

General Items:

- M - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
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- M - Need to show median locations.
- M - Minimum Median opening spacing 260' ROW to ROW.
- M - Minimum street spacing 200' edge to edge.

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- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

Min 57.5' radius

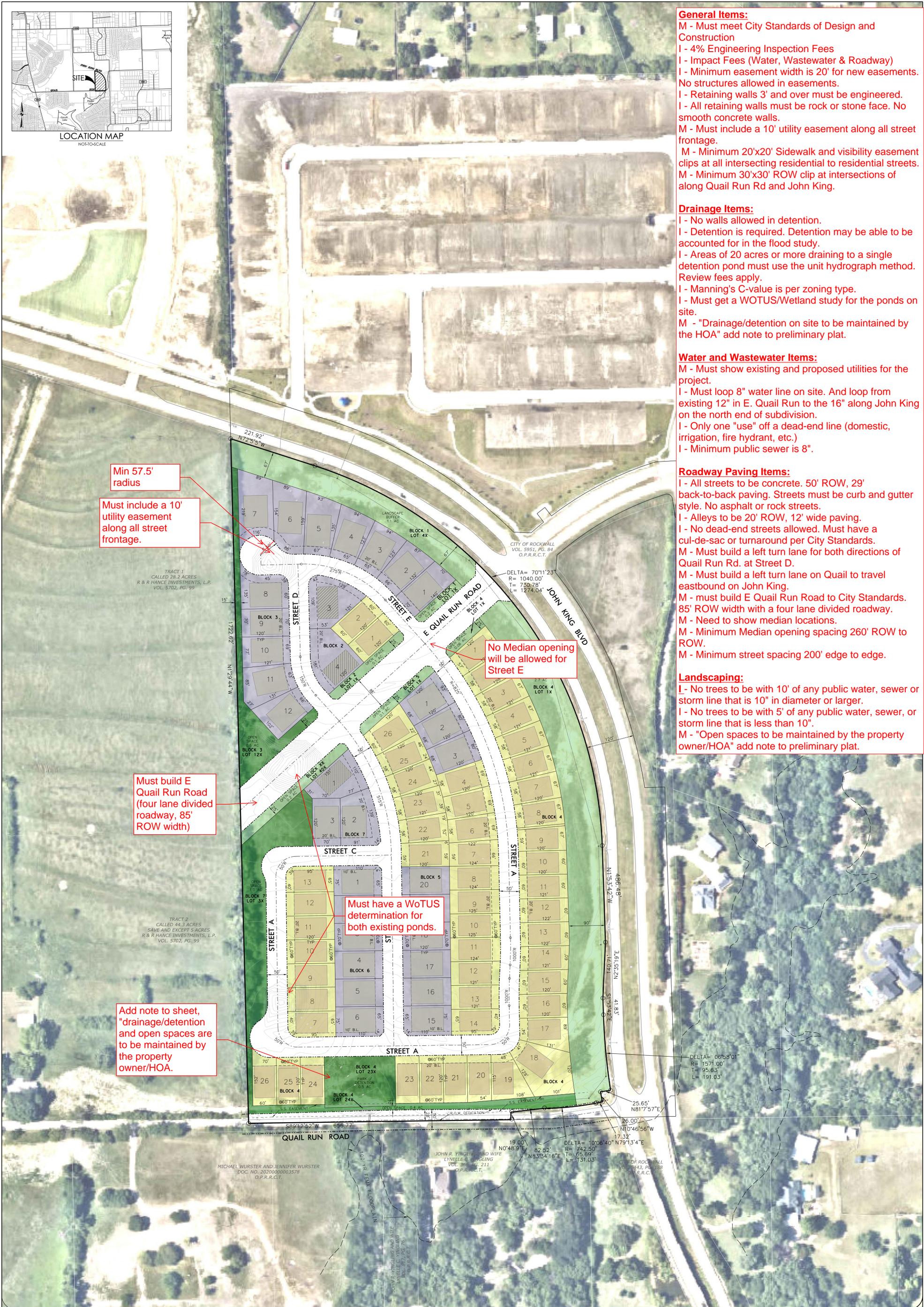
Must include a 10' utility easement along all street frontage.

Must build E Quail Run Road (four lane divided roadway, 85' ROW width)

Must have a WoTUS determination for both existing ponds.

Add note to sheet, "drainage/detention and open spaces are to be maintained by the property owner/HOA."

No Median opening will be allowed for Street E



JOB NO. 61263-00 DATE OCTOBER 21, 2020 SHEET		<h1>GIDEON</h1> <h2>ROCKWALL</h2> <h3>PHASE 2</h3>	<p>6500 WEST FWY. FORT WORTH TEXAS 76116 PHONE: 817.870.3668 SUITE 700 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470</p>
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2820-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **PROPERTY ID #10188, JOHN KING BLVD. - A PORTION OF TRACT 1-01 OR THE S.R. BARNES SURVEY, ABSTRACT NO. 13**

Subdivision **GIDEON GROVE - PHASE 2** Lot Block

General Location **ALONG THE SOUTH SIDE OF JOHN KING BLVD, NEAR THE INTERSECTION WITH E. QUAIL RUN ROAD.N WITH E. QUAIL RUN ROAD.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	ORD. NO 17-25, PD-84	Current Use	VACANT / AGRICULTURAL
Proposed Zoning	ORD. NO 17-25, PD-84	Proposed Use	SINGLE-FAMILY RESIDENTIAL
Acreage	30.337 AC	Lots [Current]	1
		Lots [Proposed]	84

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	Gideon Grove Addition 2, Ltd., a Texas Limited Partnership By: Gideon Grove Addition 2 GP Corporation, a Texas Corporation, its General Partner	<input checked="" type="checkbox"/> Applicant	Skorburg Company
Contact Person	John Arnold	Contact Person	Humberto Johnson, Jr.
Address	8214 Westchester Drive, Suite 900	Address	8214 Westchester Drive, Suite 900
City, State & Zip	Dallas, TX 75225	City, State & Zip	Dallas, TX 75225
Phone	214-522-4945	Phone	214-888-8857
E-Mail	jarnold@skorburgcompany.com	E-Mail	jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Arnold [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$655.06, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

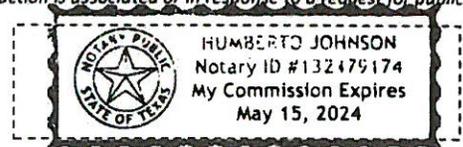
Given under my hand and seal of office on this the 16 day of October, 2020.

Owner's Signature

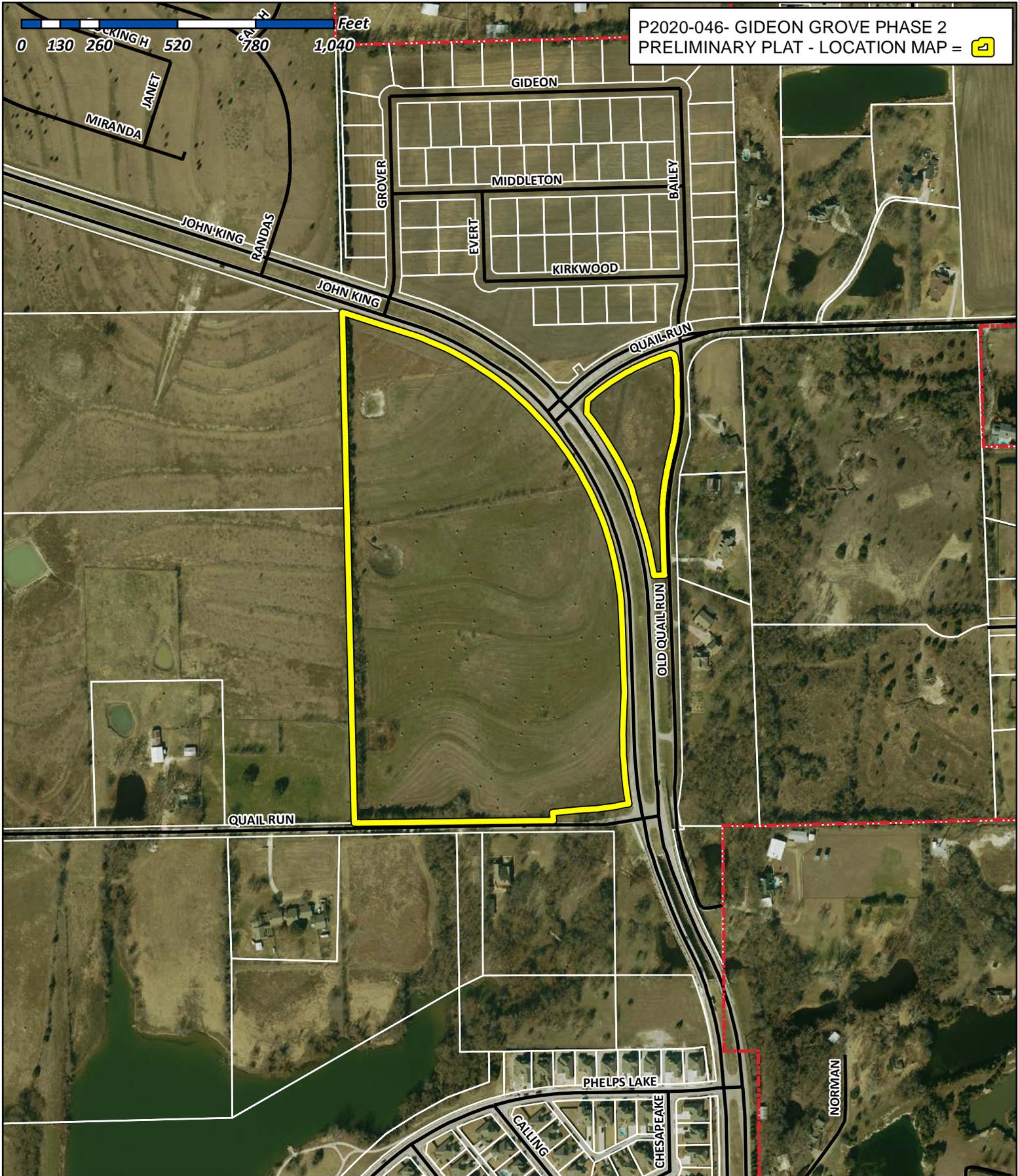
[Signature]

Notary Public in and for the State of Texas

[Signature]



My Commission Expires 05/15/2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



FIRST TRACT - 32.5 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2008-00396963

29.192 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

20,000 ACRES
MICHAEL R. LARRIERE
895-57

FIRST TRACT - 28.2 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2009-00411939

2.752 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

JAMES T. BRADLEY
908-10

29.929 ACRES
CALLED 30 ACRES
LONNIE L. GIDEON
307-256

SECOND TRACT - 44.3 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2009-00411939

30.337 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

2.33 ACRES
HERMAN UTLEY
1779-214

P. B. HARRISON SURVEY
A-97

S. R. BARNES SURVEY
A-13

J. M. GASS SURVEY
A-88

LOT 1, BLOCK A
D. R. TAYLOR ADDITION
E-317 PRRCT

1" = 100'

R & R HANCE INVESTMENTS LP
5433-53

LOT 1, BLOCK A
PROMISE LAND ADDITION

TRACT I - 5.18 ACRES
NICHOLAS P. GRANT
4472-181

TRACT II - 5.05 ACRES
NICHOLAS P. GRANT
4472-181

DESCRIPTION

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING all of that tract of land in Rockwall County, Texas, out of the S. R. Barnes Survey, A-13, and being a part of that called 80 acres described in a deed to Lonnie L. Gideon recorded in Volume 307, Page 256 of the Deed Records of Rockwall County, Texas, and being further described as follows:

BEGINNING at the intersection of the West line of said 80 acres with the South line of S. H. 205 By-Pass, said point bearing South 01 degrees 23 minutes 44 seconds East, 885.84 feet from a 3/8 inch steel rod found at the Northwest corner of said 80 acres;

THENCE along the line of S. H. By-Pass as follows:

- South 72 degrees 05 minutes 21 seconds East, 225.92 feet to a 1/2 inch steel rod set at a point of curve;
- Southeasterly, 1274.04 feet along a curve to the right having a radius of 1040.00 feet and a central angle of 70 degrees 11 minutes 23 seconds (Chord bears South 36 degrees 59 minutes 40 seconds East, 1195.86 feet) to a 1/2 inch steel rod set;
- South 01 degrees 53 minutes 59 seconds East, 243.24 feet to a 1/2 inch steel rod set;
- South 02 degrees 35 minutes 02 seconds West, 140.71 feet to a 1/2 inch steel rod set;
- South 01 degrees 53 minutes 59 seconds East, 41.83 feet to a 1/2 inch steel rod set;
- Southeasterly, 191.03 feet along a curve to the left having a radius of 1571.00 feet and a central angle of 06 degrees 58 minutes 01 seconds (Chord bears South 05 degrees 22 minutes 59 seconds East, 190.91 feet) to a 1/2 inch steel rod set;
- South 81 degrees 07 minutes 40 seconds West, 25.65 feet to a point;
- South 10 degrees 47 minutes 13 seconds East, 26.00 feet to a point;
- South 79 degrees 12 minutes 47 seconds West, 17.32 feet to a point;
- Southwesterly, 131.03 feet along a curve to the right having a radius of 742.50 feet and a central angle of 10 degrees 06 minutes 40 seconds (Chord bears South 84 degrees 16 minutes 07 seconds West, 130.86 feet) to a point;
- South 83 degrees 33 minutes 59 seconds West, 82.52 feet to a point;
- South 00 degrees 46 minutes 04 seconds East, 24.30 feet to a P-K nail set in the pavement of Quail Run Road;
- South 89 degrees 22 minutes 58 seconds West, 664.18 feet along Quail Run Road to a point in the center of same, being the Southwest corner of said 80 acres, a 1/2 inch steel rod set North 01 degrees 23 minutes 44 seconds West, 30.00 feet for witness;

THENCE North 01 degrees 23 minutes 44 seconds West, 1727.17 feet along the West line of said 80 acres to the Point of Beginning, containing 30,337 acres of land.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	24.07'	14.00'	96°31'00"	S 84°16'07" W	21.21'
C2	131.03'	742.50'	10°06'40"	S 84°16'07" W	130.86'

LINE	BEARING	DISTANCE
L1	S 09°05'30" E	47.64'
L2	S 89°38'49" E	17.74'
L3	S 84°01'46" W	37.04'
L4	S 84°21'51" W	30.75'
L5	S 67°41'02" W	29.89'
L6	S 28°56'15" W	72.24'
L7	S 00°21'07" W	30.45'
L8	S 81°07'40" W	25.65'
L9	S 10°47'13" E	26.00'
L10	S 79°12'47" W	17.32'
L11	S 83°33'59" W	62.52'
L12	S 00°46'04" E	24.30'

Bearings based upon Grid North, Texas State Plane Coordinate System, North Central Zone, NAD 83.

Subdividing property by metes and bounds may be in violation of city and/or county platting ordinances.

The plat as shown hereon was prepared from an on-the-ground survey performed under my supervision during the month of March, 2010.

April 7, 2010

Ray L. Vannoy
Ray L. Vannoy
R.P.L.S. No. 1988

BOUNDARY SURVEY

30.337 ACRES
S. R. BARNES SURVEY, A-13
ROCKWALL, TEXAS

PREPARED FOR:

Lonnie L. Gideon, Trustee
282 Airport Road
Reno, Texas 75462

No Schedule "B" Provided
SHEET 1 OF 4
Drawn By: RV
Vannoy Job No. 2149

Vannoy & Assoc., Inc.
Surveyors/Planners
500 N. Valley Mills Dr., Suite 210
Waco, Texas 76710, (254) 751-1934



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: SP2020-027
PROJECT NAME: Site Plan for Alliance Addition Phase 2
SITE ADDRESS/LOCATIONS: 6601 HORIZON RD

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/22/2020	Needs Review

10/22/2020: SP2020-027; Site Plan for Alliance Addition Phase 2

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-027) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, the Planned Development 57 (PD-57) standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. Include the address in the title block. (Subsection 03.04. A, of Article 11)
2. Indicate the case number in the lower right corner on all sheets, SP2020-027. (Subsection 03.04. A. of Article 11)
3. Include a north arrow on the landscape plan. (Subsection 03.04. A, of Article 11)
4. Verify the total lot acreage. (Subsection 03.04.B, of Article 11)
5. Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04. B, of Article 11)
6. Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. (Subsection 03.04. B, of Article 11)
7. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
8. Indicate the Right-of-Way along Horizon Road. (Subsection 03.04. B, of Article 11)
9. Indicate the centerline for Horizon Road. (Subsection 03.04. B, of Article 11)

10. Label the height and type of fence proposed or existing. (Subsection 08.02. F, of Article 08)
11. Indicate any pad mounted or roof mounted utility equipment as well as any subsequent required screening. (Subsection 01.05. C, of Article 05)
12. Provide details/elevations for the dumpster screening. (Subsection 01.05. B, of Article 05)
13. What type of uses are requiring the drive-through? As a note, a restaurant with less than 2,000 SF requires a SUP.

M.6 Landscape Plan:

1. Update the Landscape Plan to match the Site Plan. (Subsection 03.04. A. of Article 11)
2. Verify the area of the tract. (Subsection 03.04. B, of Article 11)
3. After acreage is verified the impervious vs. landscaped area may need to be recalculated. (Subsection 01.01. B, of Article 05)
4. Indicate the locations of all existing and proposed landscaping. Arial imagery indicates that there are trees along Horizon Road that are not indicated on this Landscape Plan. (Subsection 05.03. B, of Article 08)
5. Indicate the trees that will remain on site. (Subsection 07.01, of Article 09)
6. All parking spaces must be within 80ft of a canopy tree. (Subsection 05.03. E, of Article 08)
7. Indicate visibility triangles on all driveway intersections and public streets. (Subsection 01.08, of Article 05)
8. Large trees shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. Pay attention to the west side of your property. (Subsection 05.05, of Article 08)
9. Provide a Treescape Plan. (Subsection 03.04. A, of Article 11)
10. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01.F, of Article 09)
11. Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. (Subsection 03.01. E, of Article 09)
12. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01. F, of Article 09)
13. Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. (Subsection 03.01. G, of Article 09)

M.7 Photometric and Lighting Plan:

1. Indicate the total height and mounting height for all proposed light fixtures. No pole, pole base or combination thereof shall exceed 20 ft. Provide detail. (Section 2.10, PD-57)
2. Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. (Subsection 03.03, of Article 07)

I.8 Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07). PD-57 goes on to say that all lighting fixtures shall focus light downward and be contained on the site.

M.9 Building Elevations:

1. Indicate the parapet wall height. (Subsection 04.01, of Article 05)
2. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. (Subsection 01.05. C, of Article 05)

M.10 Currently you do not meet the commercial articulation standards. Wall projections must be 25% of the height the wall. For example, on the north elevation, the 19'-2" wall the wall projection would need to be 4'-9" not ~2" as it is now. If all the articulation standards cannot be met then a variance would need to be requested, where two compensatory measures would need to be provided. (Subsection 04.01. C. 1, of Article 05)

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on November 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 10, 2020 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) Architecture Review Board Meeting will be held on October 27, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on November 10, 2020.

I.14 All meetings will be held in person and in the City's Council Chambers. The meetings listed above are scheduled to begin at 6:00 p.m. (P&Z) and 5:00 p.m. (ARB). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

- 10/22/2020: M - Dumpster to drain to an oil/water separator and then to the storm system.
M - Include a 20' wide easement for the existing fire hydrant if not already dedicated.
M - Drive thru lane must be 12' wide.
M - Label the driveway spacing.
M - Callout the 45' utility easement on the west side of the property.

The following items are for your information for the engineering review process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Must include a 10' utility easement along all street frontage.
- M - Show all easements

Roadway/Paving Items:

- M - 5' wide sidewalk 2' off ROW along Alliance Dr. and Andrews Dr.

Drainage Items:

- I - Detention is accounted for in Alliance Addition Phase 2.
- I - Drainage pattern must meet the approved drainage area map for the original plan.

Water and Wastewater Items:

- I - Must show existing and proposed utilities for the project.
- I - Must loop 8" water line on site (if needed)
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- I - Minimum public sewer is 8".
- I - Sewer pro-rata \$527.15/acre
- I - Need to show irrigation service and fire sprinkler connection. If paving is cut, full panel concrete is required to be replaced.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved w/ Comments

10/21/2020: Fire Department Connection (FDC) items for consideration with regards to landscape plans:

FDC shall be facing and visible from the fire lane.

FDC installed in a "yard" should have 12" x 12" x 4" concrete pad placed at the base to provide additional stability.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved w/ Comments

10/21/2020: Assigned address for shell will be 6601 Horizon Rd, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	10/22/2020	Approved w/ Comments

10/22/2020: • Consider ground wash lighting or directional lights in the grass areas on the North, South and East edges of the parking lots to eliminate any shadows.

- Consider directional lighting at the front of business around shrubs and trees.
- Consider Use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters (If applicable-I did not see one on the plat) to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider the addition of bollards to the front and sides of the complex where parking places are designated to prevent accidents and vehicles being used to break into the businesses.
- Consider exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for exit doors of the business where employees might exit to ensure that employees will have a complete and unobstructed view prior to exiting the business, vehicles and persons.
- Considering clearing new trees and shrubs should be trimmed as follow: trees up to 7' and bushes trimmed down to 3'. This will provide a proper line of sight and clear views.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Denied

10/20/2020: Canopy tree are minimum 4" caliper per ordinance not 3"
Please identify species on the plan, so I can see the actual design layout



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address PD 57

Subdivision ALLIANCE ADDITION PHASE 2 Lot 8 & 11 Block 1

General Location HORIZON ROAD - FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use

Proposed Zoning Planned Development District Proposed Use

Acreage 2.22 ACRES Lots [Current] 2 Lots [Proposed] 1

[] **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 112.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant	<u>STROHMEYER ARCHITECTS INC</u>
Contact Person	<u></u>	Contact Person	<u>JIMMY STROHMEYER</u>
Address	<u>PO BOX 818</u>	Address	<u>2701 SUNSET RIDGE</u>
			<u>SUITE 607</u>
City, State & Zip	<u>TERRELL, TEXAS 75060</u>	City, State & Zip	<u>ROCKWALL, TEXAS 75032</u>
Phone	<u></u>	Phone	<u>214-497-2057</u>
E-Mail	<u></u>	E-Mail	<u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeier [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

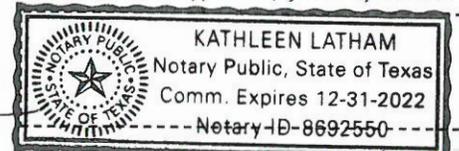
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 2020.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
Kathleen Latham



My Commission Expires 12-31-2022



SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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1 | 2 | 3 | 4 | 5

Randall Noe Alliance Addition
Elevation Calculations

Elevation	Stone	Brick	Stucco	Total	Stone %	Brick %	Stucco %
WEST	859	1,409	460	2,728	31.49%	51.65%	16.86%
SOUTH	1,479	1,262	719	3,460	42.75%	36.47%	20.78%
EAST	2,605	1,450	221	4,276	60.92%	33.91%	5.17%
NORTH	1,507	617	1,375	3,499	43.07%	17.63%	39.30%
Total	6,450	4,738	2,775	13,963	46.19%	33.93%	19.87%



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
© 2016 Strohmeier Architects, Inc.

Revisions:

Sheet Title:

**EXTERIOR
ELEVATIONS**

A-201



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 | 2 | 3 | 4 | 5

1 2 3 4 5

D

C

B

A



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Revisions:

Sheet Title:
**EXTERIOR
RENDERINGS**

A-202

1 2 3 4 5

1 2 3 4 5



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Consultants:

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FC GUNY CORPORATION
#2 HORIZON COURT
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12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

**FOR REGULATORY
APPROVAL**

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Unsaved Drawing.dwg
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Revisions:

Sheet Title:

**EXTERIOR
RENDERINGS**

A-203



D

C

B

A

1 2 3 4 5

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STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

Concept Design

Project Number:

Drawing Date: 6/1/16

Drawn:

Checked:

Scale:

ACAD File: HeathPlaza0462116-A201.dwg

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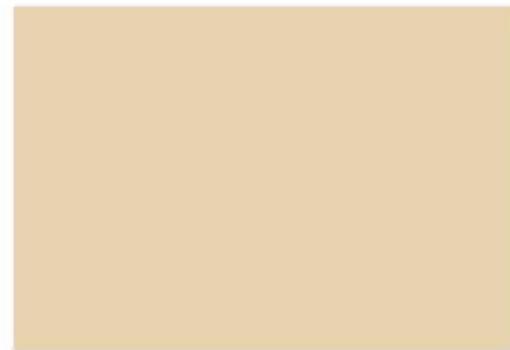
Revisions:

Sheet Title:

**COLOR
BOARD**



AUSTIN STONE



**PLASTER - MATCH
FRENCH VANILLA**



**DARK
BRONZE**



ACME FRENCH VANILLA



ACME CRANBERRY

D

C

B

A

1

1

2

1

3

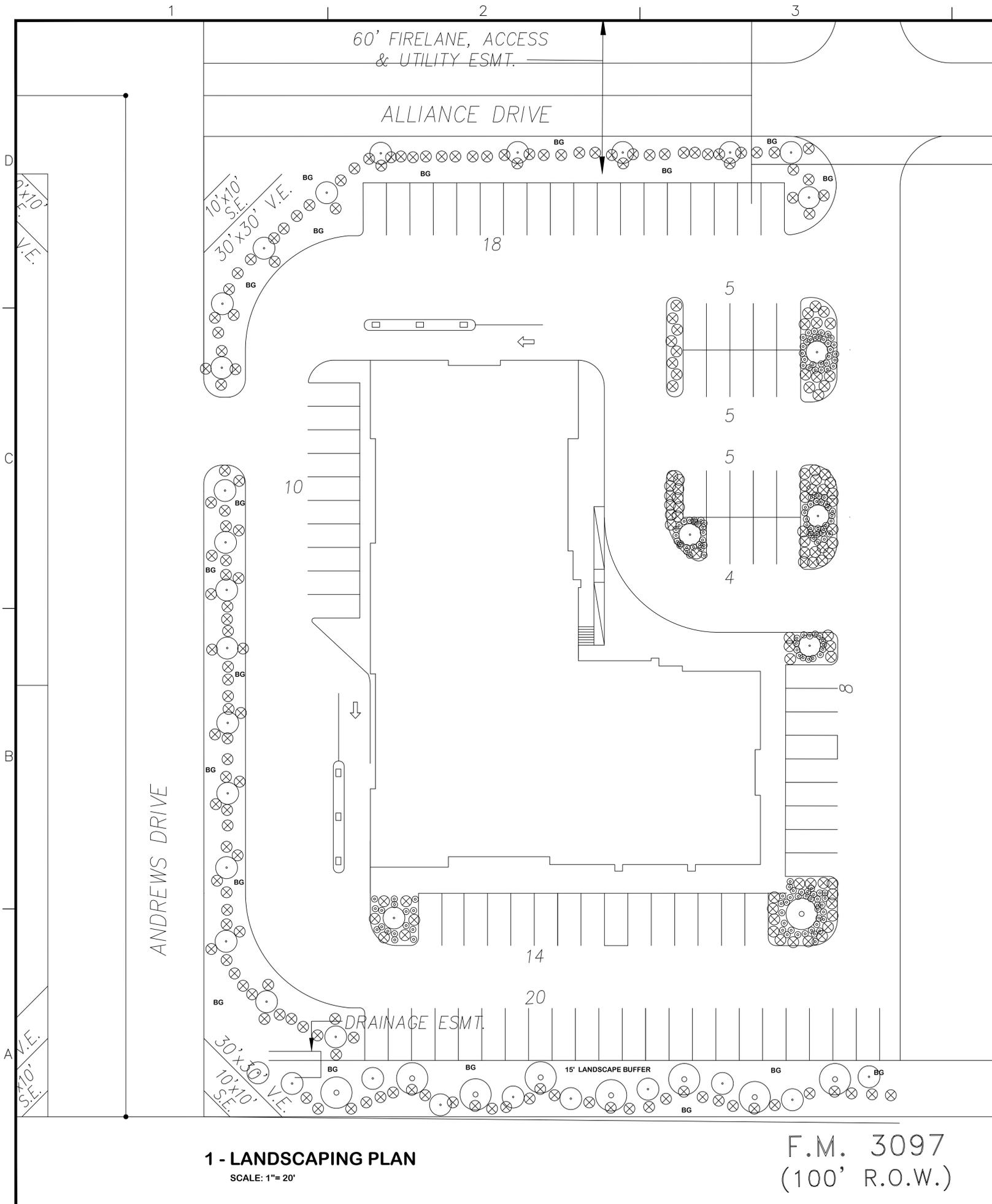
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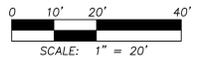
5

Jan 04, 2017 - 12:14pm User: \$(GETVAR,??) /Users/jimmy/Dropbox/Strohmeier Architects/Alliance Addition-010417-LS101.dwg



1 - LANDSCAPING PLAN
SCALE: 1" = 20'

F.M. 3097
(100' R.O.W.)



LEGEND

-  CANOPY TREE
-  ORNAMENTAL (ACCENT) TREE
-  SHRUB
-  GROUND COVER
-  PERENNIAL
- BG BERMUDA GRASS

LANDSCAPING GENERAL REQUIREMENTS

COMMERCIAL / RETAIL
SITE AREA = 100,500 S.F.
LANDSCAPING AREA PROVIDED = 21,624 S.F.
LANDSCAPING AS PERCENTAGE OF TOTAL SITE = 22%

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



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12575 MILL RUN DRIVE
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3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDAL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

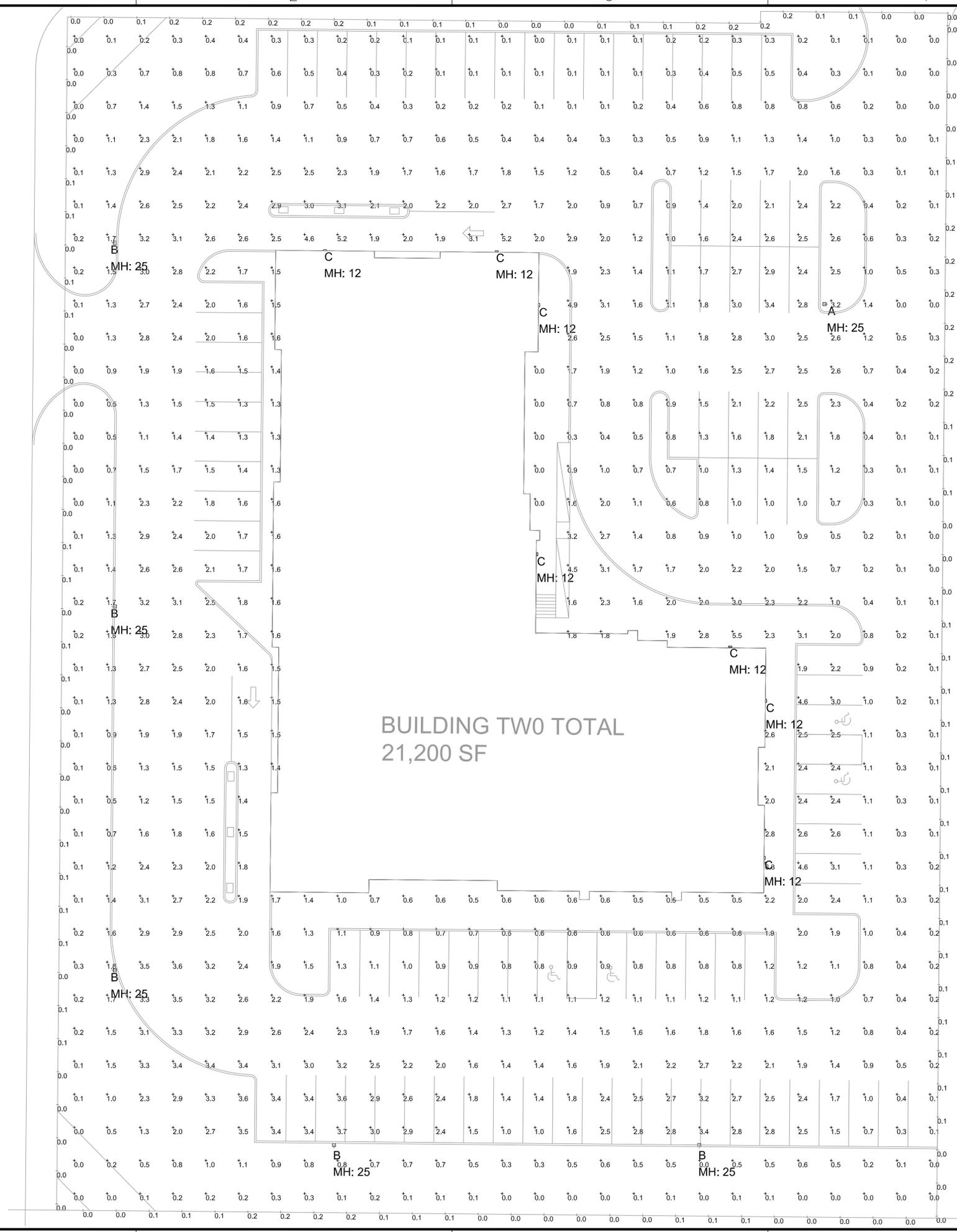
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Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition-010417-LS101.dwg
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Revisions:

Sheet Title:

**LANDSCAPING
PLAN
LS-101**

Jan 09, 2017 - 2:59pm User: HES007 C:\Users\HES007\HES\HES Team Site - 2016\160046 Randall Noe Alliance\08 DWG\E101.dwg



GENERAL NOTES
 1. MOUNTING HEIGHTS SHOWN ON PLAN AS MH: ...

Luminaire Schedule					
Symbol	Qty	Label	Manufacturer / Catalog Number	Lum. Watts	Total Watts
☐	1	A	GLEON-AF-03-LED-E1-T3	166	166
☐	5	B	GLEON-AF-03-LED-E1-SL4-HSS	166	498
☐	7	C	IST-E02-LED-E1-BL4	46.9	328.3



Consultants:
 CIVIL
 FC GUNY CORPORATION
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 12575 MILL RUN DRIVE
 FRISCO, TEXAS 75035

MEP
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 SUITE 450
 DALLAS, TEXAS 75201

ISSUE FOR PERMIT



**RANDAL NOE
 ALLIANCE ADDITION
 ROCKWALL, TEXAS**

Project Number:
 Drawing Date: 01/09/17
 Drawn:
 Checked:
 Scale:
 ACAD File: E101.dwg
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Revisions:

1 SITE PLAN - LIGHTING
 E1.01 1/16" = 1'-0"



Sheet Title:
 SITE PLAN LIGHTING
E1.01

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: SP2020-028
PROJECT NAME: Site Plan for Courtin Dental
SITE ADDRESS/LOCATIONS: 710 W RALPH HALL PKWY

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/22/2020	Needs Review

10/22/2020: SP2020-028; Site Plan for Courtin Dental - Flagstone Corners Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-028) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 54 (PD-54), and the Development Standards of Article 05, that are applicable to the subject property.

M.5 All pages of the site plan (i.e. site plan, landscape, photometric, building elevations, etc.) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. (§03.04.A, Art. 11, UDC)

I.6 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.7 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

- 1) In the Site Plan Information Legend, remove "current – undeveloped". (§03.04.A, Art. 11, UDC)
 - 2) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed. (§03.04.B, Art. 11, UDC)
 - 3) The proposed sidewalk along Mims Road to be located within a Pedestrian Easement. Provide a label. (§03.04.A, Art. 11, UDC)
 - 4) Provide a fence detail for all proposed fencing for the development. (§08.02.F, Art. 08, UDC)
 - 5) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Engineering Department).
 - 6) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure. Indicate location of these units and proposed screening. (§01.05.C, Art. 05, UDC)
 - 7) Provide dumpster detail. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (§01.05.B, Art. 05, UDC)
 - 8) Based on the building footprint for both structures, an exception to the horizontal articulation standards will be required. Please provided a letter of explanation for the associated exceptions and the compensatory measures justifying these exceptions/variances as required by the UDC for consideration. (§04.01.C.1, Art. 05, UDC)
- M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

- 1) General Lawn Notes: Hydromulch - All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). (§05.03.G, Art. 08, UDC)
- 2) General Lawn Notes: To Indicate the following - Where hydro mulch is used, other than the prohibited areas, a minimum coverage of 75% to 80% stand of grass with a minimum established height of one (1) inch shall be required prior to the release of the Certificate of Occupancy (i.e. CO). (Sec. 4.2, Coverage, Engineering Standards of Design and Construction)
- 3) Correct the Landscape Tabulations: Under General, 2. One (1) canopy tree is required by PD-54 to be planted for every 30 linear feet of frontage (i.e. not 50). Correct Plan to indicate A) Mims Road requires a minimum of 14 trees & B) East Ralph Hall Pkwy requires a minimum of 6 trees. (Required per PD-54)
- 4) Landscape Table: Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (§05.03.B, Art. 08, UDC)
- 5) Indicate the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided. (§01.01.B, Art. 05, UDC)
- 6) Identify visibility triangles on all lots for all driveway intersections and public streets. (§01.08, Art. 05, UDC)
- 7) Provide note indicating irrigation will meet requirements of UDC on Sheet No. L1.1. (§05.04, Art. 08, UDC)
- 8) Provide a label for the adjacent street names (i.e. Mims Road & Ralph Hall Parkway).

M. 10 Photometric Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

- 1) No light pole, pole base or combination thereof shall exceed 20-feet. Provide detail. (PD-54)
- 2) The maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. Lighting levels exceed this requirement for the north, east, and west property lines. Revise plan. (§03.03, Art. 07, UDC)

M.11 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

*All comments listed are required for both structures unless otherwise noted.

- 1) An exception to the horizontal articulation standards as listed below.

- 2) Provide each exterior material percentage calculation for each façade.
- 3) Verify and correct the directional labels for each building façade (i.e. South Elevation should be corrected to indicate North Elevation, etc.).
- 4) All signage requires a separate permit as indicated above.
- 5) Verify architectural scale and provide scale measurement being used.
- 6) Provide measurements on drawings for height, length, etc.
- 7) A minimum of 20% stone or cast stone shall be required for all buildings. The daycare facility does not include the stone on the exterior elevations. (Required per PD-54)

Based on the building elevation submittal, staff has identified the following that require approval of an exception(s) to the Unified Development Code (UDC) and Planned Development District 54 (PD-54):

- 1) Building Articulation. The proposed buildings do not meet the articulation standards established by the UDC and requires approval of an exception. Exception Required. (§04.01.C.1, Art. 05, UDC)
 - a. Dental Office – Primary entrance and rear (i.e. north and south elevations)
 - b. Daycare Facility – Primary entrance and both side elevations (i.e. north, east, and west elevations)

An applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. The applicant needs to provide a letter stating the justification for each exception requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested exceptions/variances requires approval of a supermajority vote for approval. Refer to Section 09, of Article 11, of the UDC for examples of compensatory measures.

- Please provided a letter of explanation for the associated variance and/or exceptions and the compensatory measures justifying these variances as required by the UDC for consideration.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on November 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 10, 2020 Planning & Zoning Meeting.

I.14 The Architectural Review Board (ARB) meeting will be held on October 27, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) Architectural Review Board (ARB) meeting will be held on October 27, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on November 10, 2020.
- 4) Architectural Review Board (ARB) meeting will be held on November 10, 2020 (if required).

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review
10/22/2020: M - Connect 8" water line to existing stub out at the north property line.			

- M - Add a 10' Util Esmt along Ralph all frontage.
- M - No signs in easments.
- M - Label driveway spacing.
- M - Sidewalk to be 2' inside the ROW, not 2.5' as shown.
- M - Must include a 10' utility easement along all street frontage.
- M - Must include and oil/water separator for the dumpster area that drains to the storm lines.
- M - Must install a 5' sidewalk along Mims Road
- M - Must install a 5' sidewalk along Ralph Hall.
- M - Driveway min. radius 25'

The following items are for your information for engineering review.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Must include a 10' utility easement along all street frontage.

Drainage Items:

- I - Detention is accounted for. Must match the existing drainage conditions.
- M - Must include and oil/water separator for the dumpster area that drains to the storm lines.

Water and Wastewater Items:

- I - Must show existing and proposed utilities for the project.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

Roadway Paving Items:

- I - 24' minimum drive isles.
- I - Fire lane radii to be 20' minimum as long as the buildings are shorter than 30' tall. If the buildings are 30' or taller, the fire lane radius must be 30' minimum.
- I - Parking the be 20'x9' where adjacent to the building or for nose-to-nose parking.
- M - Must install a 5' sidewalk along Mims Road
- M - Must install a 5' sidewalk along Ralph Hall.
- I - No driveway allowed off Ralph Hall due to spacing requirements.
- M - Driveway min. radius 25'

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Denied

10/21/2020: (1) Fire apparatus access roads shall be provided such that any portion of the exterior walls, at grade level, of a building or structure is not more than 150 ft. from the

fire apparatus access road as measured by an approved unobstructed route around the exterior of the building or structure. The fire code official is authorized to increase the distance to 250-feet for buildings protected thought out with an automatic fire sprinkler system. Provide a diagram indicating the measurement of the unobstructed pathway around the external walls of the structure. (Obstructions include AC units, shrubs, trees, locked fencing/gates without access, or other construction or utilities.)

(2) The Fire department Connection (FDC) for the automatic fire sprinkler system shall be facing and visible from the fire lane, within 100-feet of a fire hydrant, and provided with a 5-foot clear all-weather pathway to the fire apparatus access roadway. Show location and pathway for the FDC.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved w/ Comments

10/21/2020: Address assignments will be:

Dental Office: 702 E RALPH HALL PKWY, ROCKWALL, TX 75032

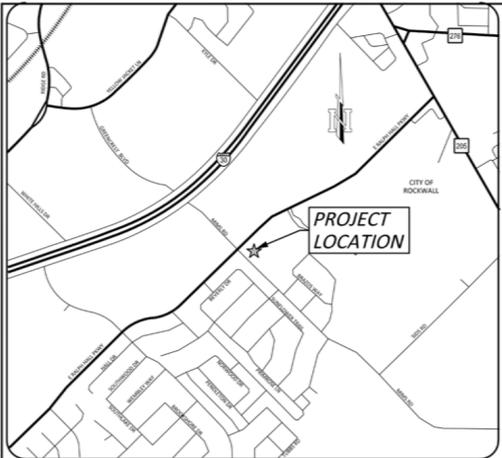
Daycare Bldg: 710 E RALPH HALL PKWY, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	10/22/2020	Approved w/ Comments

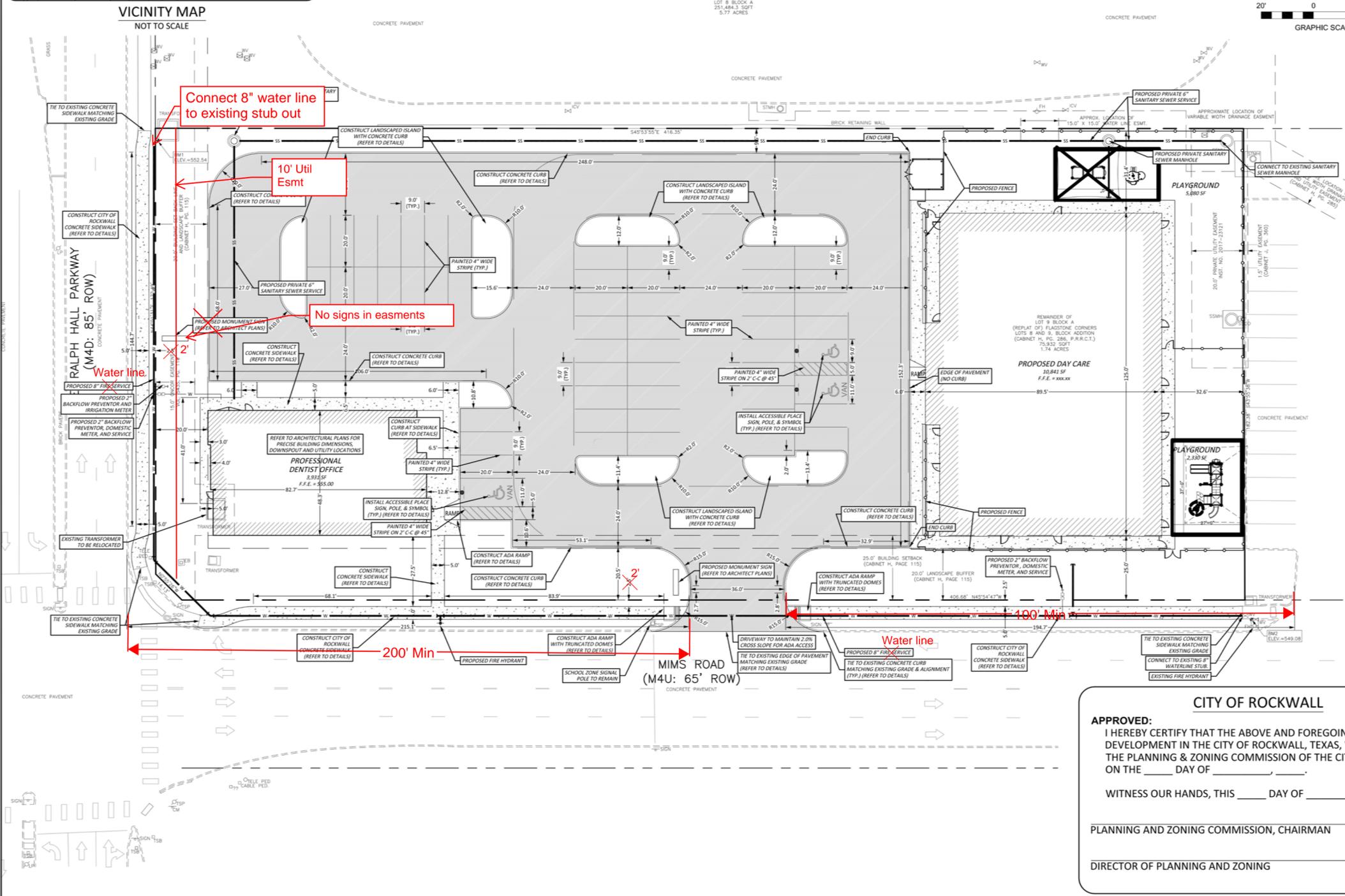
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Denied

10/20/2020: Please provide a plant legend showing specific species



VICINITY MAP
NOT TO SCALE



SITE PLAN INFORMATION

ZONED:	PD-54
LAND USE:	CURRENT: UNDEVELOPED PROPOSED: COMMERCIAL
TOTAL LOT AREA:	1.743 ACRES (75,932 S.F.)
TOTAL LOT PERIMETER:	±1,192 LF
BUILDING AREA:	DENTAL OFFICE: 3,931 S.F. DAYCARE: 10,841 S.F.
BUILDING HEIGHT:	DENTAL OFFICE: 20'-0" DAYCARE: 20'-0"
STANDARD PARKING:	52
ACCESSIBLE PARKING:	3
TOTAL:	55

Time of Day	Retail
6:00 a.m.—12:00 noon	0.97
12:00 noon—1:00 p.m.	1.00
1:00 p.m.—4:00 p.m.	0.97
4:00 p.m.—6:00 p.m.	0.82
6:00 p.m.—8:00 p.m.	0.89
8:00 p.m.—12:00 midnight	0.61

General Items:

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- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
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- M - Must install a 5' sidewalk along Mims Road
- M - Must install a 5' sidewalk along Ralph Hall.
- I - No driveway allowed off Ralph Hall due to spacing requirements.
- M - Driveway min. radius 25'

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

- ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
- ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
- ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 1:5 SLOPING RAMP SLOPE SHALL NOT EXCEED 8.3% (1:12).
- RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
- SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 5' IN LENGTH.
- THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY SO SURVEY CONSULTANTS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER
MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087



CASE NUMBER: SP2020-XXX

DRAWN BY:	TG
DESIGNED BY:	DK
LATEST REVISION:	10/16/20
NSA JOB NO.:	MI-2129



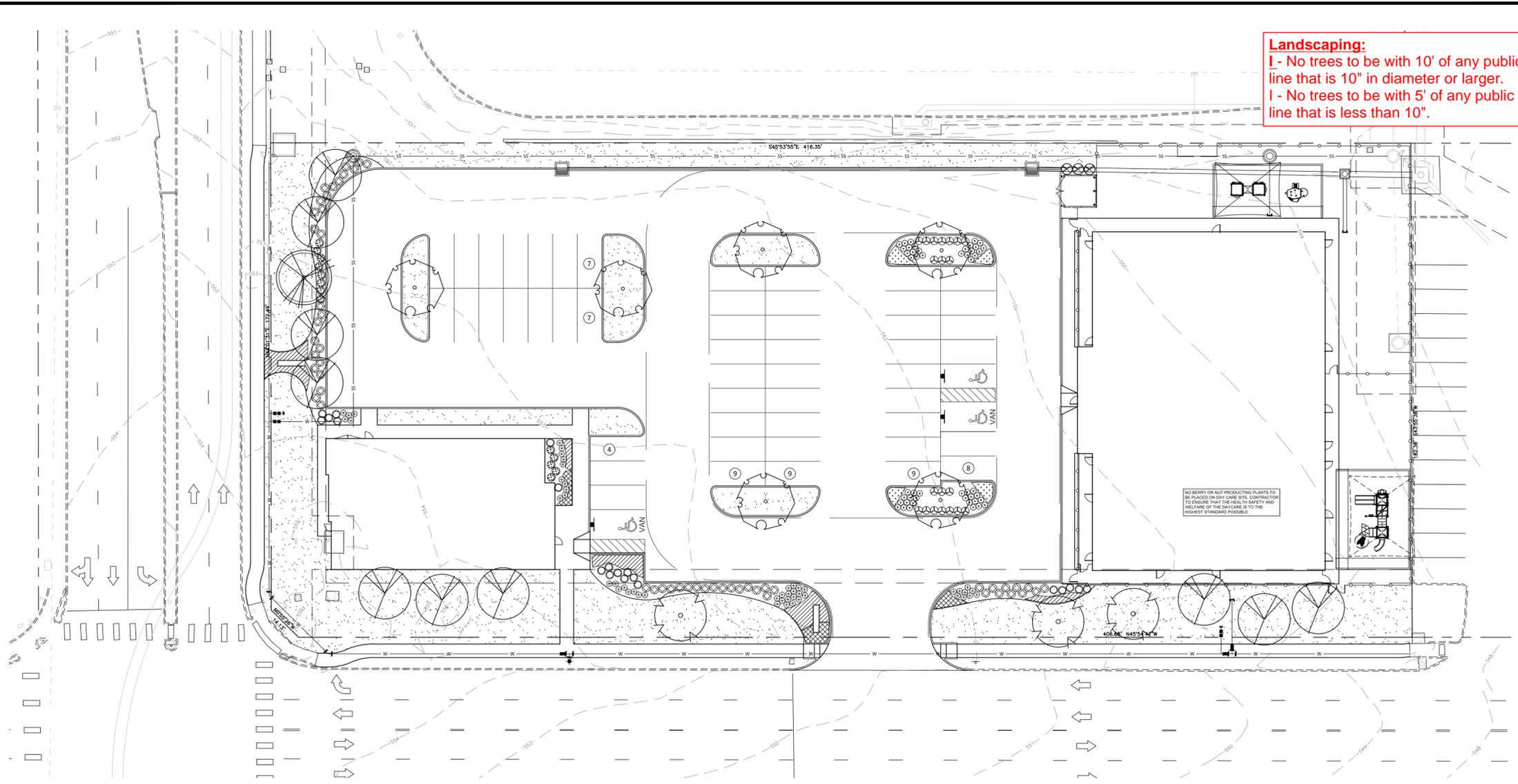
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF DARREL KOTZUR, P.E. REGISTRATION No. 83947, ON 10/16/20 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR PERMIT PURPOSES.

SEAL: TBPE Firm Registration No. F-1356
SHEET NO. **C1.0**

DRAWING PATHNAME LAYOUT.PLOT DATE: TIME

SHEET NAME:

PROJECT NAME: **BLOCK A, LOT 9**



Landscaping:
 1 - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 1 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADUAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOIL:**
- SOIL SOIL SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES. AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOIL SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOIL SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOIL, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES AND MACHINE CUT TO PAD THICKNESS OF 3/4" (1-1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOIL BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOIL BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
 - SOIL SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOIL SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERBERGRASS SOIL WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH:**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERBERGRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE LOCAL LAW REQUIREMENTS.
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY GROVERS, INC OR APPROVED EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE THERO-TACK ONE; AS MANUFACTURED BY GROVERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERBERGRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO BE HYDROMULCH WITH BERBERGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.
- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS IS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.
 - CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED AND UNIFORM THROUGHOUT THE SITE. PLANTING AREAS AND SOIL TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE

- INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1" BELOW THE TOPS OF SIDEWALKS AND CURBS.
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE TO CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIMRY 145 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICES OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE-RMAN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/8" X 4 X 12" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS OR TABLES.

**LANDSCAPE TABULATIONS
 ROCKWALL, TEXAS**

GENERAL

- A 20' street buffer shall be provided the length of the property abutting a ROW.
- One large canopy tree shall be provided for every 50 l.f. of frontage.
- Trash areas shall be screened from public view.

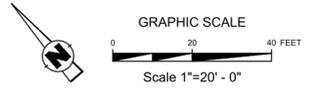
Mims Road = 417 l.f.
 East Ralph Hall Parkway = 183 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
4 canopy trees, 4" cal.	5 canopy trees, 4" cal.
trash area screened	trash area screened

PARKING LOT LANDSCAPE

- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
 - There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.
- Parking Spaces - 53
- | REQUIRED | PROVIDED |
|-------------------------|-------------------------|
| 36" screen | 36" screen |
| 5 canopy trees, 4" cal. | 6 canopy trees, 4" cal. |



CITY OF ROCKWALL

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING DISCREPANCY, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



CASE NUMBER: SP2020-XXX

LANDSCAPE PLAN

**COURTIN DENTAL
 FLAGSTONE CORNERS
 BLOCK A, LOT 9**

KSA
 6781 Oak Hill Blvd.,
 Tyler, Texas 75703
 T: 905.565.8441 F: 888.224.9418
 www.ksa.com

**PRELIMINARY
 NOT FOR CONSTRUCTION**

SHEET NO. **L1.1**

SECTION 32 9300 - LANDSCAPE
PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

1.2 REFERENCE DOCUMENTS

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPPLIES, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
1. PLANTING (TREES, SHRUBS, GRASSES)
2. BED PREP AND FERTILIZATION
3. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERMEN, 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (206.1) PLANT MATERIAL.
B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES.
C. TEXAS ASSOCIATION OF NURSEYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL, AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE. SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

A. INSTALL TREES, SHRUBS, AND LIMER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNSOLID SOD.
B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED

REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.

E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.

F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD

G. REMOVE CULMS AND STAKING MATERIALS AFTER ONE YEAR

H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.

I. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.

J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.

K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

L. REAPPLY MULCH TO BARE AND THIN AREAS.

M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.

N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:

- THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL HARDBARK SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYPOCHOERIS (MOWED) SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE REJECTED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

GUARANTEE:

A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RESPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS AT THAT TIME. THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

2.1 PLANT MATERIALS

A. GENERAL: WELL FORMED, NO. 1 GRADE OR BETTER NURSERY GROWN STOCK, LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AD TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS U-SHAPED ROOTS).

2.2 PLANT MATERIALS

A. GENERAL: WELL FORMED, NO. 1 GRADE OR BETTER NURSERY GROWN STOCK, LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
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D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
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H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS U-SHAPED ROOTS).

DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO THE LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.

AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.

OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/ SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

A. PREPARATION

1. BALLEED AND BURLAPPED B&B PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAKE AND FUTURE DEVELOPMENT.
2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.

B. DELIVERY

1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM OSTEORRHOEA DURING DELIVERY AND WHILE STORED ON SITE.
2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

A. GENERAL: WELL FORMED, NO. 1 GRADE OR BETTER NURSERY GROWN STOCK, LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AD TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS U-SHAPED ROOTS).

ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS. NOT ROOT OR POT BOUND.

TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.

MULCH MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.

MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.

ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

SOD: GRADE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

A. SANDY LOAM:

1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLGRASS OR NUTGRASS SHALL BE REJECTED.
2. PHYSICAL PROPERTIES AS FOLLOWS:
a. CLAY - BETWEEN 7-27%
b. SILT - BETWEEN 15-25%
c. SAND - LESS THAN 52%
3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.

B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.

PREMIER BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADDAWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS; OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.

C. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.

MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.

ORGANIC FERTILIZER, FERTILDAID, SUSTANE, OR GREEN SEED OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

COMMERCIAL FERTILIZER, 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCLU OR UPL) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICROELEMENTS.

PEAT: COMMERCIAL SPAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING DURABLED STEEL OR APPROVED EQUAL.

TREE STAKES - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE. REFER TO DETAILS.

FILTER FABRIC - MIRAP 1405 BY MIRAP INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONG STAR PRODUCTS, INC. (469-523-0444).

SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.

GRAVEL - WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1 1/2".

DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL, MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1 1/2" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.

RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2" - 4" IN DIAMETER.

PRE-EMERGENT HERBICIDES - ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.

ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).

BACKFILL FOR TREE FITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALCULI, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.

3.2 INSTALLATION

A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.

PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIMERS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH. ALL PLANTS SHALL BE PLANTED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.

POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.

NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.

EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE FITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE GROWTH OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED.

SHRUB AND TREE FITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.

PERCOLATION TEST: FILL THE HOLE WITH WATER IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL PVC STAND PIPE PER TREE IN THE PERCOLATION TEST FALLS.

BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".

DO NOT WRAP TREES.

DO NOT OVER PRUNE.

REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.

REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.

REMOVE UPPER THIRD OF BURLAP FROM BALLEED AND BURLAPPED TREES AFTER PLACEMENT.

PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.

MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.

ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.

OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK, THEY SHALL BE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANTS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK, OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.

TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.

PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.

DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.

PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.

IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE FITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.

ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.

TOP OF EDGING SHALL BE 2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.

STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.

DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.

CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.

3.3 CLEANUP AND ACCEPTANCE

A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY.

REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.

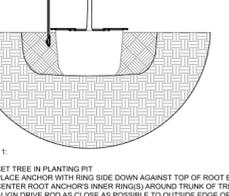
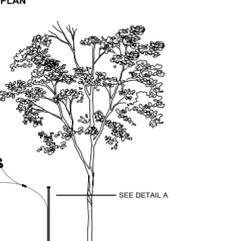
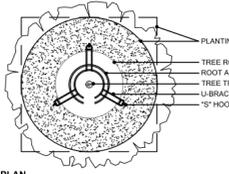
ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.

WHENEVER THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.

THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-028

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ²
- Replat (\$300.00 + \$20.00 Acre) ²
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address N/A

Subdivision Flagstone Corners Lot 9 Block A

General Location Southeast corner of E. Ralph Hall Pkwy and Mims Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use Undeveloped

Proposed Zoning Proposed Use Dental Office/Daycare

Acreage 1.74 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Courtin Dental</u>	<input checked="" type="checkbox"/> Applicant	<u>KSA Engineers</u>
Contact Person	<u>Mary Courtin</u>	Contact Person	<u>Darrel Kotzur, P.E.</u>
Address	<u>991 East I-30 Suite 103</u>	Address	<u>6781 Oak Hill Blvd.</u>
City, State & Zip	<u>Rockwall, TX 75032</u>	City, State & Zip	<u>Tyler, TX 75703</u>
Phone	<u>(214) 471-3810</u>	Phone	<u>(903) 541-8141 ext. 1311</u>
E-Mail	<u>marycourtin@yahoo.com</u>	E-Mail	<u>dkotzur@ksaeng.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Darrel Kotzur [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

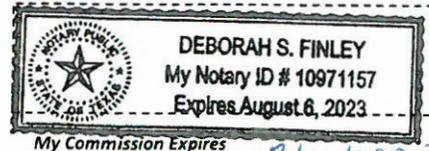
Given under my hand and seal of office on this the 14 day of October, 20 20.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]

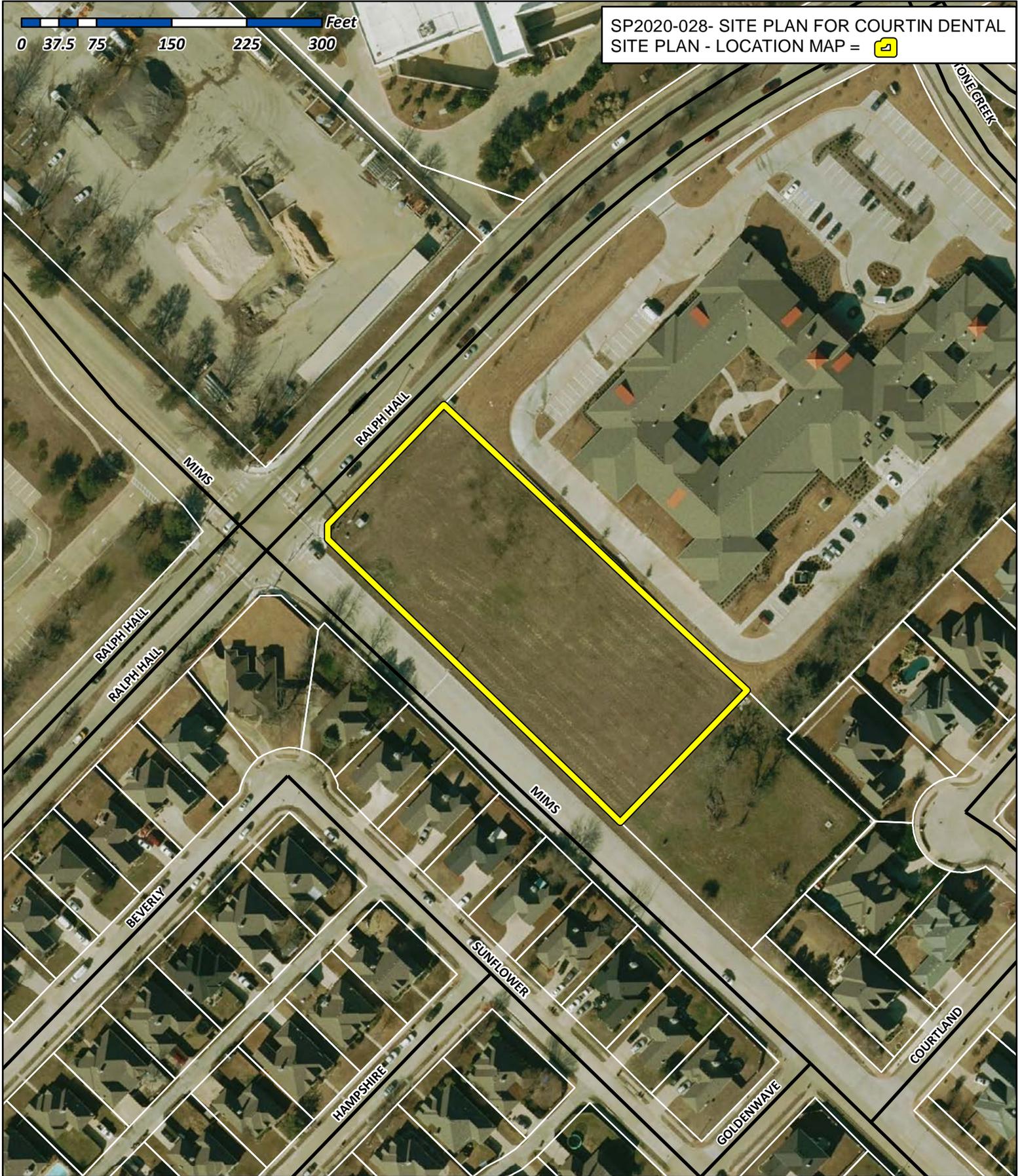


My Commission Expires

8/6/2023

0 37.5 75 150 225 300 Feet

SP2020-028- SITE PLAN FOR COURTIN DENTAL
SITE PLAN - LOCATION MAP = 

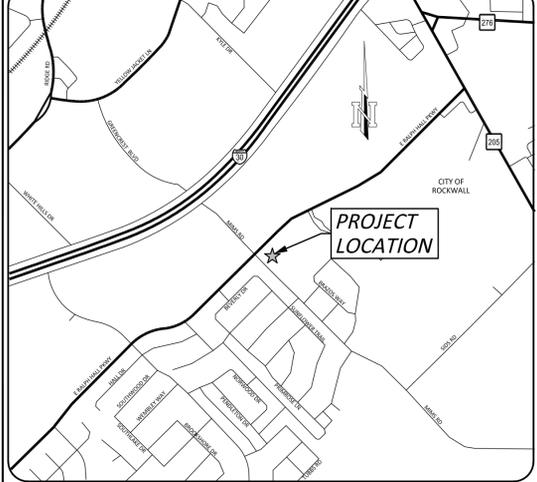


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
NOT TO SCALE

SITE PLAN INFORMATION

ZONED: PD-64
 LAND USE: CURRENT: UNDEVELOPED
 PROPOSED: COMMERCIAL

TOTAL LOT AREA: 1.743 ACRES (75,932 S.F.)
 TOTAL LOT PERIMETER: ±1,192 LF

BUILDING AREA: DENTAL OFFICE: 3,931± S.F.
 DAYCARE: 10,841 S.F.

BUILDING HEIGHT: DENTAL OFFICE: 20'-0" - 24'-0"
 DAYCARE: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	3	3
ACCESSIBLE PARKING	3	3
TOTAL	55	53

Time of Day	Retail	Office	Daycare	Dental	Total
6:00 a.m.—12:00 noon	0.97	1.00	35	20	56
12:00 noon—1:00 p.m.	1.00	0.90	36	18	54
1:00 p.m.—4:00 p.m.	0.97	0.97	35	19	54
4:00 p.m.—6:00 p.m.	0.82	0.47	30	9	39
6:00 p.m.—8:00 p.m.	0.89	0.07	32	1	34
8:00 p.m.—12:00 midnight	0.61	0.03	22	1	23
			Total #	55	

Daycare SF	Dental SF	Daycare Req	Dental Req
10,841	3,931	1,500	1,200

LEGEND

EXISTING	PROPOSED	DESCRIPTION
WM	WM	WATER METER
WV	WV	WATER VALVE
FH	FH	FIRE HYDRANT
GM	GM	GAS METER
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEANOUT
UP	UP	UTILITY POLE
LP	LP	SITE LIGHTING POLE
TSP	TSP	TRAFFIC SIGNAL POLE
TSB	TSB	TRAFFIC SIGNAL BOX
SMH	SMH	STORM MANHOLE
JB	JB	STORM JUNCTION BOX
LI	LI	CURB INLET
GI	GI	GRATE INLET
+	+	SIGN
---	---	EXISTING OVERHEAD ELECTRIC LINE
---	---	EXISTING CONCRETE CURB
---	---	PROPOSED CONCRETE CURB
---	---	NUMBER OF PARKING SPACES
---	---	PROPOSED FIRE LANE
---	---	PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
---	---	PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W.
---	---	PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, SWM STANDARDS AND PROJECT SITE WORK SPECIFICATIONS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS, PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - ALL CURB RADI SHALL BE 4" UNLESS OTHERWISE NOTED.
 - FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

- ACCESSIBILITY NOTES**
- PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
 - ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT 1/4" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
 - ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
 - ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
 - ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5" LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
 - RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
 - SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SUP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH.
 - THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

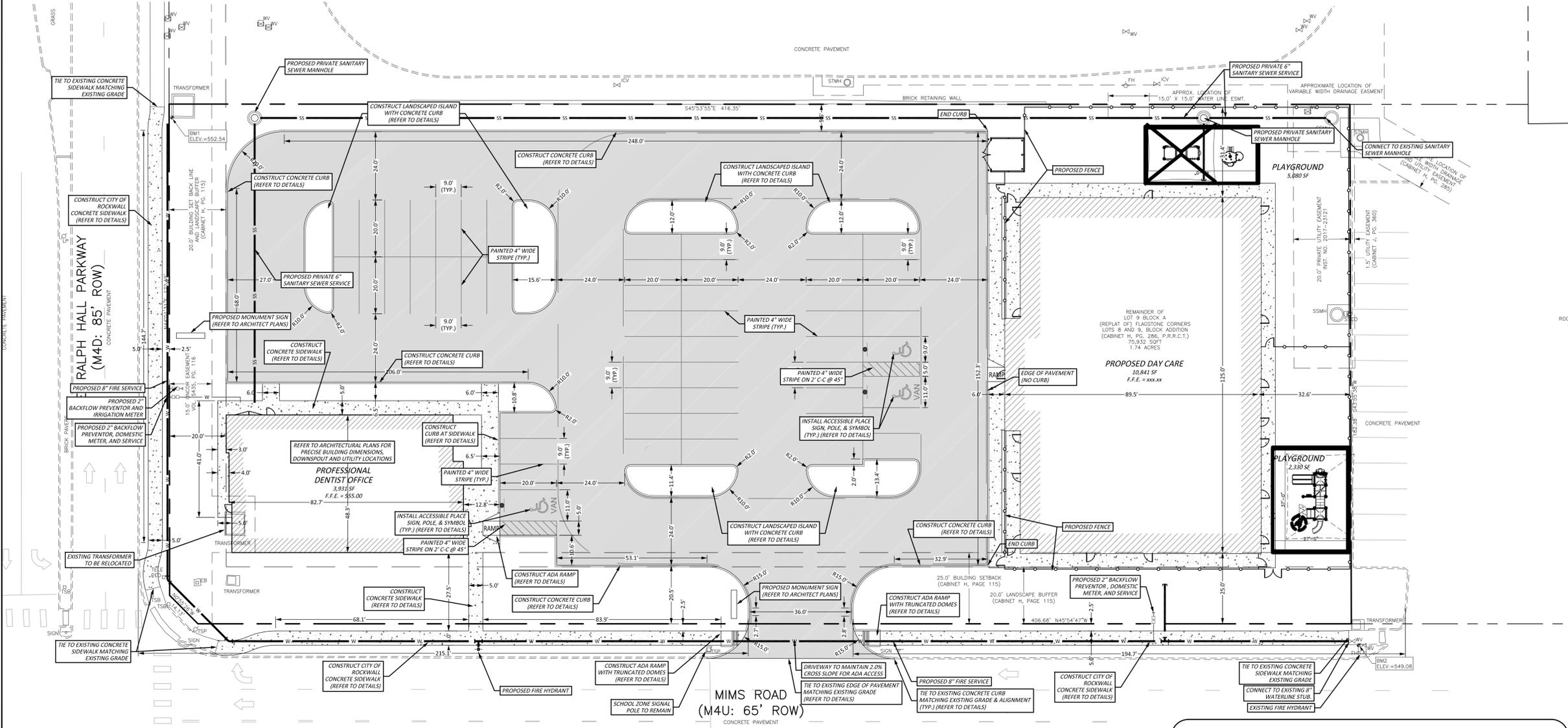
ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY SGI SURVEY CONSULTANTS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.



CITY OF ROCKWALL

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER
 MARY COURTIN
 991 INTERSTATE 30
 SUITE 103
 ROCKWALL, TX 75087



CASE NUMBER: SP2020-XXX

DATE	REVISION	MARK

SITE PLAN

**COURTIN DENTAL
 FLAGSTONE CORNERS
 BLOCK A, LOT 9**

DRAWN BY:	DESIGNED BY:	LATEST REVISION:	DATE:
TG	DK	10/16/20	

INSPECTIONS/CERTIFICATIONS NOTE

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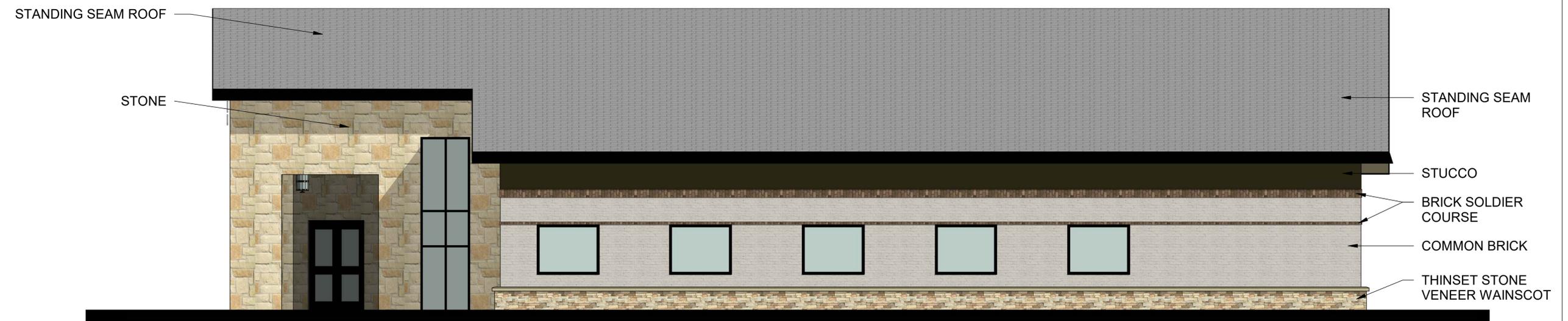
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811
 Know what's below.
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C1.0



SOUTH ELEVATION



NORTH ELEVATION



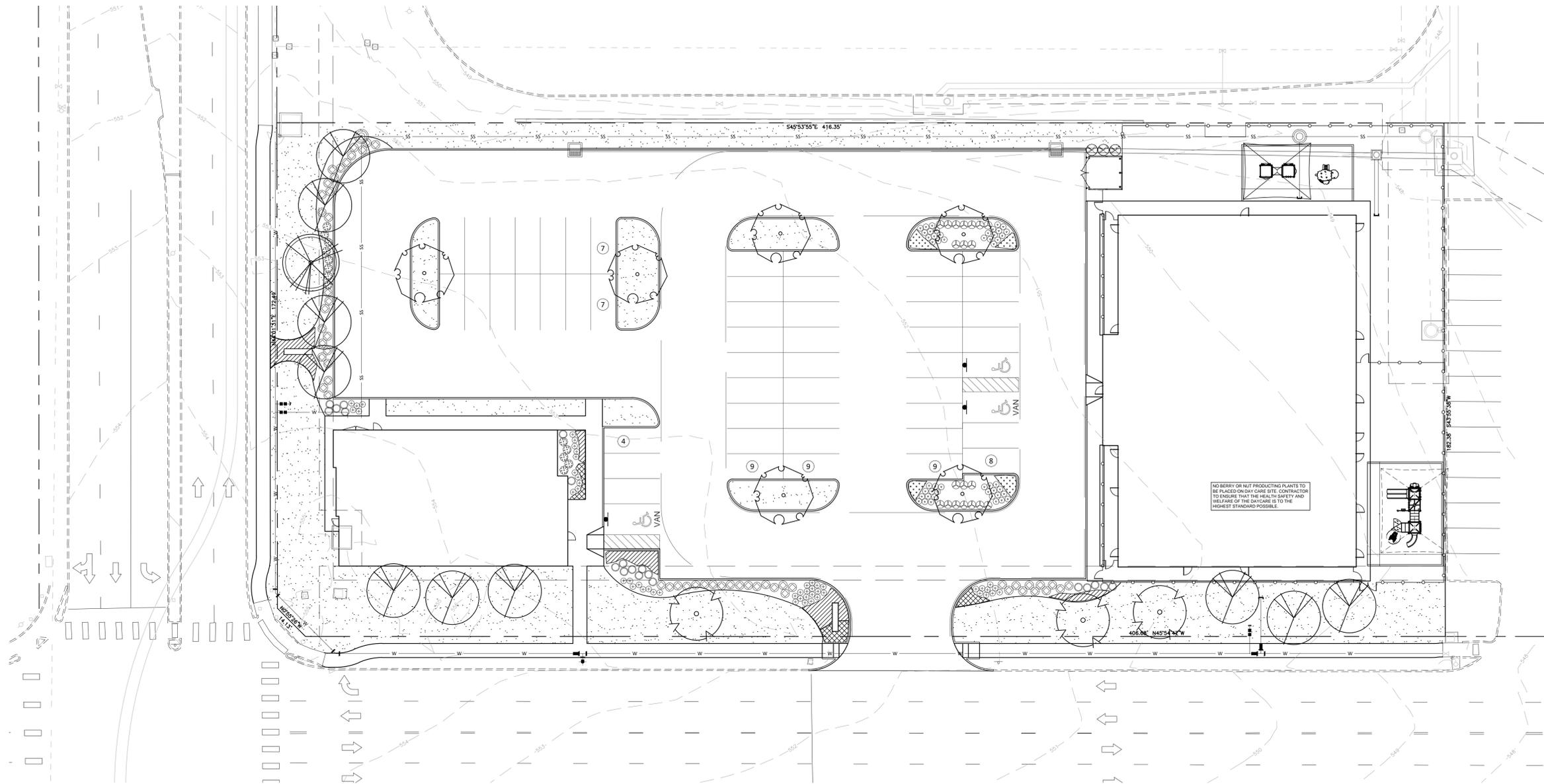


EAST ELEVATION



WEST ELEVATION





GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION. CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOOLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES. AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED THROUGH RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER TACK SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEB" OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "TERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
- HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEEDDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE

INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICINGS OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

**LANDSCAPE TABULATIONS
ROCKWALL, TEXAS**

GENERAL

- A 20' street buffer shall be provided the length of the property abutting a ROW.
- One large canopy tree shall be provided for every 50 l.f. of frontage.
- Trash areas shall be screened from public view.
Mims Road = 417 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.

East Ralph Hall Parkway = 183 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
4 canopy trees, 4" cal.	5 canopy trees, 4" cal.

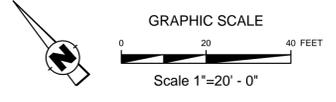
trash area screened	trash area screened
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PARKING LOT LANDSCAPE

- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
- There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.

Parking Spaces - 53

REQUIRED	PROVIDED
36" screen	36" screen
5 canopy trees, 4" cal.	6 canopy trees, 4" cal.



CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

AWR
AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amandagawr-designs.com
c. 512.517.5589

OWNER
MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087

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MARK	REVISION	DATE

LANDSCAPE PLAN

**COURTIN DENTAL
FLAGSTONE CORNERS
BLOCK A, LOT 9**

PROJECT NAME: MI 2129
SHEET NAME: L1.1

DRAWN BY: TG	DESIGNED BY: DK	LATEST REVISION: 10/15/20	KSA JOB NO.: MI 2129
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KSA
6781 Oak Hill Blvd.,
Rockwall, TX 75087
T. 972.531.4141
www.ksaeng.com

**PRELIMINARY
NOT FOR CONSTRUCTION**

SHEET NO. **L1.1**

CASE NUMBER: SP2020-XXX

